

1. GENERAL

- 1.1 This addendum modifies the Bid Documents for the Jennie E. Hughes Park Improvements project.
- 1.2 This Addendum forms a part of the Bidding Documents and will be incorporated into the Contract documents, as applicable.
- 1.3 Acknowledge receipt of all addenda prior to submittal of bid, by reference in the bid form.

2. PROJECT MANUAL

The following document sections are modified, incorporated into the Project Manual and reissued herein, changes indicated by ¶ mark left hand side of document

- 2.1 Instructions to Bidders dated April 12, 2018.
 - 2.1.1 Requirements for registering with the city changed from Bidders to Contractors and Subcontractors.
 - 2.1.2 Construction Work Hours added.
- 2.2 Official Bid Form dated April 12, 2018
 - 2.2.1 Added location to acknowledge issued addenda.
- 2.3 Bid Form dated April 12, 2018
 - 2.3.1 Removed words “owner provided” from Item #12. Signs are contractor provided contractor installed as indicated within drawings.

3. DRAWINGS

The following drawings have been revised. Included is a brief description of revisions. Revisions clouded on drawings.

- 3.1 L0.01 - Demolition of concrete unit retaining wall added to scope.
- 3.2 L3.01 – Description of grading work between sidewalk and street curb at previous retaining wall locations provided.
- 3.3 L6.04 – Raindrop representative added to notes. Revised activator bollard model number. Control Panel Timer model number provided. Description of conduit routing provided within detail 01.
- 3.4 L6.23 – Detail path callout revised.
- 3.5 LE1.01 – Service size revised. Additional notes provided. Description of conduit routing provided for activator bollard and water feature valve.

4. MISCELLANEOUS

None

NOTICE TO BIDDERS

The City of West University Place is requesting bids for park improvements at Jennie E. Hughes Park, 6446 Sewanee Avenue, West University Place, Texas 77005. The Project includes limited concrete removal and tree removal, site utilities, earthwork, drainage, open-air pavilion, masonry, hardscape improvements, water feature, fencing, landscape lighting, planting and landscape irrigation.

Bid Deadline: Bids must be sealed and marked “Jennie E. Hughes Park Improvements” and delivered to the City Secretary’s office located at 3800 University Boulevard, West University Place, Texas, to arrive no later than **10:00 AM**, local time, on **Thursday April 19, 2018**. Bids received after that time will not be accepted. Bids will be opened publicly and read aloud at **10:05 AM on Thursday April 19, 2018** in the Bill Watson Conference Room located at 3800 University Boulevard, West University Place, Texas.

A **Pre-Bid conference** will be held at **10:00 AM**, local time, **Tuesday, April 10, 2018** in the Bill Watson Conference Room located at 3800 University Boulevard, West University Place, Texas. Attendance at the pre-bid conference is not mandatory.

Bid Security in the amount of five (5) percent of the Base Bid must accompany each bid.

It shall be each bidder’s sole responsibility to inspect the site of the work and to inform himself regarding all local conditions under which the work is to be done. It shall be understood and agreed that all such factors have been thoroughly investigated and considered in the preparation of the bid submitted.

Documents Available: Drawings, specifications and bid documents may be obtained by bidders by download at www.civcastusa.com, available **Wednesday, March 28, 2018**. Addenda will be posted there as required. Drawings, specifications and addenda may be reviewed informally by appointment at the office of the Consultant: White Oak Studio 611 West 22nd Street, Suite 202, Houston, TX 77008 (713/682-2638).

Deadline for Request for Information from bidders will be **noon, Monday, April 16, 2018**. Responses will be considered addenda to the contract and will be issued no later than 5:00 p.m. Tuesday April 17, 2018.

Upon consideration of the proposals the Owner plans to award a Contract; however the Owner reserves the right to reject any and all bids, to waive any and all formalities and technicalities, and to accept any bid which it deems advantageous to the Owner. Each bidder agrees to waive any claim it

has or may have against the Owner, the Consultant, and their respective employees, arising out of or in connection with the administration, evaluation or recommendation of any bid.

Wage Rate Requirements: Attention is called to the fact that not less than the federally determined prevailing (Davis-Bacon and Related Acts) wage rate contained in the contract documents, must be paid on this project. In addition, the successful bidder must ensure that employees and applicants for employment are not discriminated against because of race, color, religion, sex age or national origin.

Bond Requirements: The successful bidder will be required to furnish a performance bond and payment bond in an amount of 100% of the total contract price. The successful bidder will also be required to furnish a maintenance bond in an amount of 100% of the final contract total price, good for one year after final acceptance of the project by the owner.

Contractor Registration: Contractors and Subcontractors are required to register with the City of West University Place Public Works Department by completing the required 'Building-Contractor Registration' form, available online, and paying the related registration fee.

Building Permit: Approved building permit will be on file with the City of West University Place Public Works Department. Successful bidder will be required to obtain the permit. Permit fees will be waived.

Pre-Construction Notification to Neighbors: Successful bidder is required to provide information to the City for pre-construction notification to neighbors. Provide 8 envelopes, stamped, addressed to surrounding neighbors (3 in front, 3 behind and 1 each side of the site) with Contractor's return address, each containing a copy of the site plan. Also include a similar envelope, addressed to CenterPoint Energy, Attn: Code Violation Dept. 4300 Bissonnet, Bellaire, TX 77401. Do not seal; the envelopes will be mailed by the City.

Post-Construction Survey Required: Contractor is required to provide a post-construction topographic survey documenting compliance with the Drawings. Refer to the Drawings for requirements.

Construction Work Hours:

Weekdays (Mon – Fri), (except holidays) 7:00 am - 8:00 pm

Request must be made and approved by the City of West University Place to work weekends.

Saturdays, (except holidays) 8:00 am - 8:00 pm

Sundays, (except holidays) 12:00 pm - 8:00 pm

[End of Notice to Bidders]

OFFICIAL BID FORM

TO: City of West University Place, Texas (“Owner”)
FROM: The undersigned bidder (“Bidder”)
CONTRACT: Jennie E. Hughes Park Improvements (“Project”)

INVESTIGATION AND INFORMATION. The Bidder assures the Owner that: (1) the Bidder has become fully informed about the Contract and the conditions under which the work will be performed; (2) the Bidder has inspected the locations; (3) the Bidder has become thoroughly familiar with the Contract Documents (described below); (4) the Bidder understands that the accuracy or completeness of any information relied upon by the Bidder is not guaranteed by the Owner, unless otherwise stated in writing by the Owner, (5) in any event, the Bidder has made its own interpretation of all such information, and (6) the Bidder has not colluded with any other bidder or potential bidder on this Contract.

CONTRACT DOCUMENTS; ADDENDA. The Contract Documents, as amended to date, are on file in the Owner's Office and on www.civcastusa.com. All Contract Documents are incorporated into this bid by this reference. The Bidder acknowledges receipt of all addenda that are posted on www.civcastusa.com and on file in the Owner's Office as of 4:00 PM on the day preceding the deadline for submission of this bid.

Addenda: Addenda (_____) have been received.

OFFER AND BID PRICE. Taking into account the investigation and information mentioned above, the Bidder offers to furnish all labor, materials, tools, equipment, supervision, services, incidentals and other items for the Contract and to perform the other duties required, all in accordance with the Contract Documents and for the price(s) shown in the attached Price Schedule.

DELIVERY OF DOCUMENTS. If the Owner awards the Contract to the Bidder, the Bidder agrees to deliver all of the required Contract Documents and proof of insurance to the Owner within ten days of receiving the Contract Documents. All such documents shall be duly completed and signed as required by the Instructions to Bidders. If the Bidder fails to deliver all such completed and signed documents to the Owner within the time allowed, the Owner may revoke the award to the Bidder. In this case, the Bidder shall pay to the Owner the amount of the Bid Security as the Owner's fixed and liquidated damages for delay, disruption and incidental expenses, it being agreed that the Owner's complete damages would be difficult to ascertain. The Owner may keep the Bidder's bid security in case of revocation of award, and the amount kept shall be applied to the amount the Bidder must pay to the Owner.

BID SECURITY. Bidder understands that it must submit a bid bond payable to the Owner in the amount of 5% of the greatest amount bid, with a surety that meets the prescribed qualifications.

SPECIAL QUALIFICATIONS (RESPONSIBILITY). Bidder understands that the Owner has established the following special qualifications to assist in determining responsibility of bidders for award of the contract, subject to the Instructions to Bidders:

- (1) *Five Years in Business.* The successful bidder must have been “in existence” and “in full operation” continuously during the five years preceding the date this bid is opened. “In existence” means the bidder was in existence in its present form of business organization. A bidder remained “in existence” if it just changed its name, or if it merged with or converted to another entity (provided the surviving entity succeeded to all liabilities of the pre-merger entity). A bidder was “in full operation” if it did not declare bankruptcy, make an assignment for the benefit of creditors, enter a receivership or seek reorganization or other relief from creditors.
- (2) *Surety.* The successful bidder’s surety (on each bond, including bid bond) must meet all the criteria shown in the Instructions to Bidders.
- (3) *Five Projects.* The successful bidder must have completed at least 5 projects for similar work. “Similar work” is defined in the attached Qualification Statement.

QUALIFICATION STATEMENT. Bidder assures the Owner that the information in the attached Qualification Statement is true, complete and correct.

FIRM BID PERIOD. This bid shall remain firm through the 90th day following the day it is opened, and an effective award may be made during that period. During that period, the Bidder may not withdraw this bid, but the Bidder may do so afterward unless an award is made first. See Instructions to Bidders.

Respectfully submitted,

(print or type Bidder's full legal name) (“Bidder”)

By:(authorized signature)_____

Name:_____, Title:_____.

Date:_____.

Address:_____

Phone:_____ Fax:_____

Notes: Bidder must sign this bid and attach: (1) Bid Bond, (2) Price Schedule, and (3) Qualification Statement, BID-105s.

The Owner requests each bidder to include a photocopy of its bid in the sealed envelope with the original bid; the photocopy should be plainly marked “COPY.”

Bid Bond

THE STATE OF TEXAS \$
 \$ KNOW ALL MEN BY THESE PRESENTS:
COUNTY OF HARRIS \$

that _____(hereinafter called the “Principal”), as Principal, and _____(hereinafter called the “Surety”), as Surety, are held and firmly bound unto the City of West University Place, Texas (hereinafter called the “Obligee”), in the amount of \$ _____, for the payment whereof the said Principal and Surety bind themselves and their heirs, administrators, executors, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, the Principal has submitted a Bid or Proposal to enter into a certain written Contract with the Obligee to _____.

NOW, THEREFORE, the condition of this obligation is such that if the said Principal shall faithfully enter into such written Contract, then this obligation shall be void but otherwise, shall remain in full force and effect.

IT IS EXPRESSLY UNDERSTOOD AND AGREED that if said Principal should withdraw its Bid at any time after such Bid is opened but before official rejection of such Bid or, if successful in securing the award thereof, said Principal should fail to enter into the Contract and furnish satisfactory insurance documents, Performance Bond, Payment Bond, and Maintenance Bond, if required, the Obligee, in either of such events, shall be entitled and is hereby given the right to collect the full amount of this Bid Bond as liquidated damages.

Provided further that if any legal action be filed upon this Bond, venue shall lie in Harris County, Texas.

IN WITNESS WHEREOF, the said Principal and Surety do sign and seal this instrument this ____ day of _____, _____.

Principal

Surety

By: _____

By: _____

Address: _____

Address: _____

City of West University Place, Texas
Jennie E. Hughes Park Improvements
Exhibit "A"
BID FORM

ITEM NO.	DESCRIPTION	STIPULATED PRICE IN WORDS	STIPULATED PRICE IN FIGURES
<u>BASE BID</u>			
Base Bid Improvements in accordance with the Contract Documents, complete and in place.		_____ DOLLARS AND _____ CENTS	\$ _____
<u>BID ALTERNATES</u>			
1	Delete Masonry Fence and Columns and Replace with Wood Fence, in accordance with the Contract Documents. <u>Deduct</u> the following stipulated sum from the Base Bid amount.	Deduct _____ DOLLARS AND _____ CENTS	Deduct \$ _____
2	Delete Pavilion Roof, Wood Columns, Ceiling Fan and Lights, leaving structural foundation, railing and masonry columns in accordance with the Contract Documents. <u>Deduct</u> the following stipulated sum from the Base Bid amount.	Deduct _____ DOLLARS AND _____ CENTS	Deduct \$ _____
<u>SEPARATE PRICES FOR BASE BID ITEMS</u>			
The following items are included in the Base Bid and are required for information only. Each item should include all labor, materials, services, equipment, fees, insurance premiums, profit and overhead costs required for the completion of the Work.			
			STIPULATED PRICE IN FIGURES
1	Mobilization, Demolition, Site Preparation, including temporary fencing, street cleaning and erosion control		\$ _____
2	Earthwork, not including topsoil or fine grading		\$ _____

City of West University Place, Texas
Jennie E. Hughes Park Improvements
Exhibit "A"
BID FORM

		STIPULATED PRICE IN FIGURES
3	Stormwater Inlets, piping and connection to City stormwater system	\$ _____
4	Water Lines, from existing meter to Backflow Preventer (including supply to drinking fountain and dog bowl). Not including Water Feature lines and valves. Not including Irrigation. Not including Backflow Preventer.	\$ _____
5	Electrical Supply, Panel, Enclosures and Tree Lighting. Not including Pavilion Lights, Ceiling Fan and related wiring and controls. Not including Water Feature wiring and controls.	\$ _____
6	Pavilion, including foundation and overhead structure. Including Pavilion Lights, Ceiling Fan and related wiring and controls. Not including masonry columns or metal railings.	\$ _____
7	Masonry Fence, including related masonry fence columns (and foundations). Include extending neighbor wood fence to connect. Not including concrete curb.	\$ _____
8	3'-6" High Masonry Columns (10 total) and Masonry Pedestal, including foundations	\$ _____
9	Paving, including concrete walks, concrete curbs, brick pavers and subslab, steps, decomposed granite and flagstone pavers	\$ _____
10	Metal Fences, Railings, Gates and Handrails	\$ _____
11	Water Feature, including Activator, related water line and valves, related wiring and controls. Including concrete, stacked stone, accent boulders, landscape boulders and drain.	\$ _____
12	Install Signs, Plaque and Furnishings (Benches, Table, Chairs, Garbage/Recycling, Bike Rack, Drinking Fountain). Provide and install Timber Seats.	\$ _____
13	Planting and Lawn, including topsoil, fine grading, planting bed preparation, mulch and soil amendments.	\$ _____
14	Irrigation System, including backflow preventer and controller.	\$ _____
TOTAL OF ALL SEPARATE PRICE ITEMS (Must equal Base Bid Amount on Page 1)		\$ _____

Tree #	Tree Type	Trunk Dia.	Canopy Dia. (Critical Root Zone)	Protect or Remove	Notes
1	Crape Myrtle	Multi Trunk Medium sized crape tree	50'	Remove	tree interferes with proposed masonry fence, requires removal.
2	Water Oak	30"	54'	Protect	
3	Water Oak	28"	48'	Protect	
4	Crape Myrtle	Multi Trunk large sized crape myrtle tree	22'	Protect	
5	American Holly	Multi Trunk medium sized crape myrtle tree	8'	Protect	
6	Crape Myrtle	Multi Trunk large sized crape myrtle tree	25'	Protect	
7	Water Oak	24"	50'	Protect	

TREE DISPOSITION NOTES

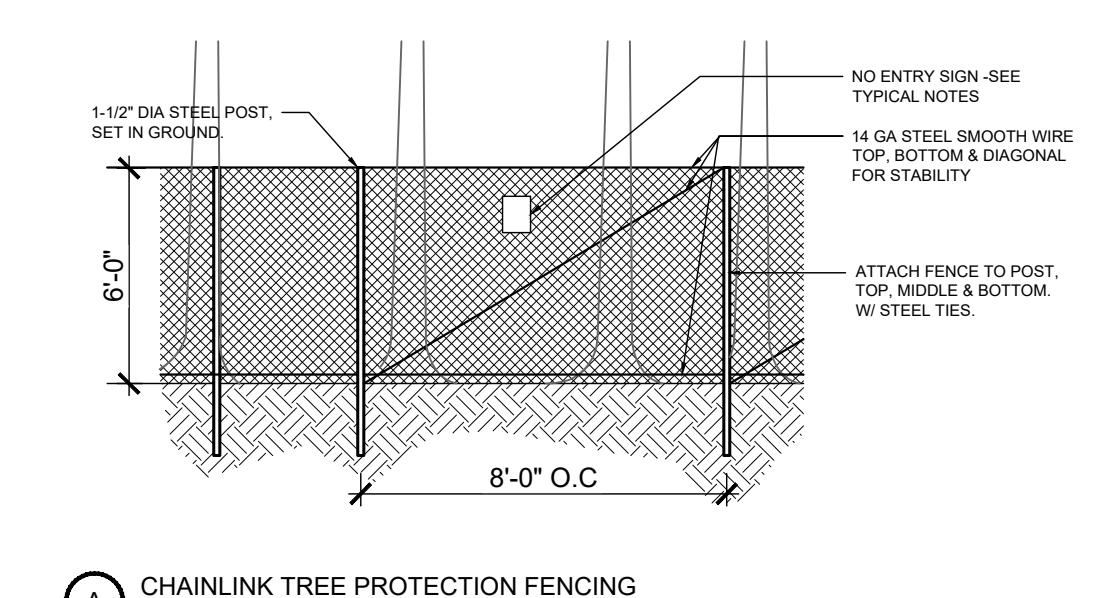
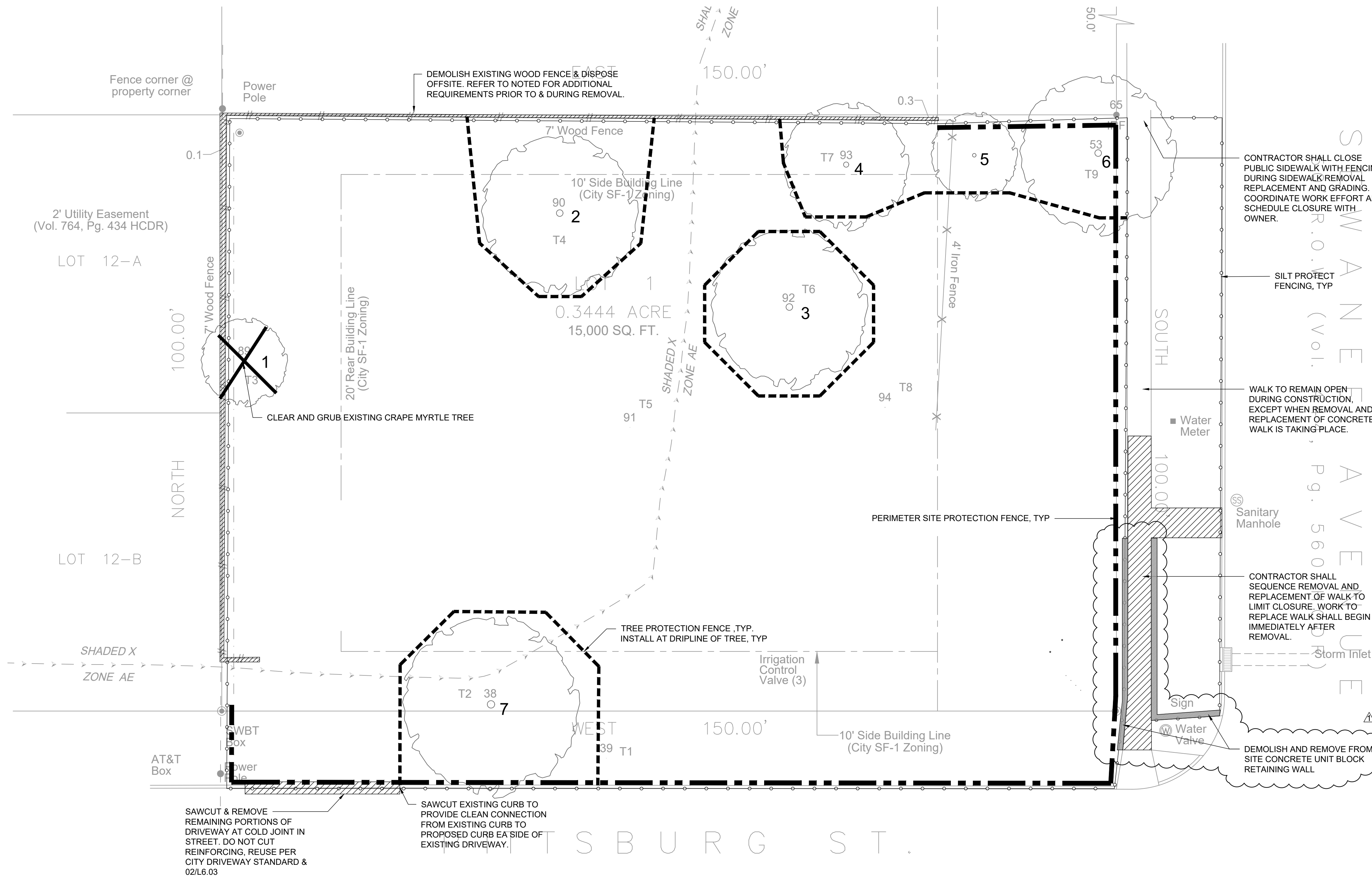
- No trees on adjacent properties appear to have any portion of critical root zone on this property.
- All protected trees to receive chainlink tree protection fencing, installed at the tree's dripline.

ADDITIONAL NOTES

- Refer to L1.01 For Site Plan
- Refer to L5.01 for Planting

CONSTRUCTION ACTIVITY

- Pavement subgrade prep
- Walk grades were designed to limit excavation within tree's critical root zone.
- Geotechnical recommendation of excavating 6 additional inches at pavement areas will not occur within critical root zone.
- Walk along Pittsburg St. separated and raised 9" above back of curb to protect tree from additional excavation.
- Utilities planned for areas surrounding critical root zone
- Irrigation, Water lines, drainage lines, electrical lines. All plans call for hand digging only within critical root zone. Pipe routes are shown to avoid critical root zones where possible.
- No cutting of roots 1" larger in diameter
- Lighting -
- Tree moon lighting planned for (3) water oak trees. Mounting will utilize stand off threaded rods which will allow for trunk growth. Light fixture will interfere with trunk growth. Conduit routes towards tree trunks are required to be directly to tree trunk in radial pattern.
- No cutting of roots 1" larger in diameter
- Planting
- Shrub and groundcover pot sizes were decreased within critical root zones
- Asian jasmine utilized as ground cover for most critical root zones



- SITE PREPARATION NOTES**
- Contractor shall protect in place:
 - All trees not designated for removal.
 - Pedestrian walks and vehicular pavement not designated for removal.
 - Concrete Removal
 - Sawcut existing curbs and pavement where removing portions.
 - Tree Protection Fencing & Tree Removal
 - Tree protection must be in compliance with city requirements
 - Erect tree protection fencing prior to any demolition, clearing, grading or construction work. Tree protection fence to remain in place in functioning condition until all construction has been completed.
 - No persons, materials, equipment, or disposal of solid, liquid or chemical waste is permitted within dripline of existing trees.
 - Signage, in both English and Spanish, stating "no entry - tree protection zone" attached to fence and visible to all areas of construction. Signage to remain in place until all construction has been completed.
 - Tree protection fencing supported by concrete bases or sand bags is not acceptable.
 - Flag trees to be removed for landscape architect approval.
 - Contractor shall adjust tree protection fencing as needed throughout construction to protect the critical root zone of protected trees.
 - Perimeter Site Fencing
 - Contractor shall keep project area surrounded with 6' chain link fence in compliance with city requirements.
 - Silt Protection Fence
 - Plan locations for fencing is shown as diagrammatic. Contractor shall locate and sequence fencing as required to prevent sediment on sidewalk and street.
 - Refer to L0.02 for Erosion Control Details and Notes
 - Existing Wood Fence Removal & Installation of Permanent Fence.
 - Work for perimeter Masonry Fence (or Wood Fence if deduct bid alternate is accepted) shall be sequenced and completed at the beginning of the project. Refer to Masonry Fence Notes, L6.21.
 - Coordinate work schedule with Owner (City of West University Place).
 - Refer to Site Plan for locations where adjacent property's wood fence will be extended to face of masonry fence.



JENNIE E. HUGHES PARK IMPROVEMENTS
6448 Sewanee Ave.,
West University Place, TX 77005



Parks & Recreation Department
3800 University Blvd.
West University Place, TX 77005

LANDSCAPE ARCHITECT & PRIME CONSULTANT

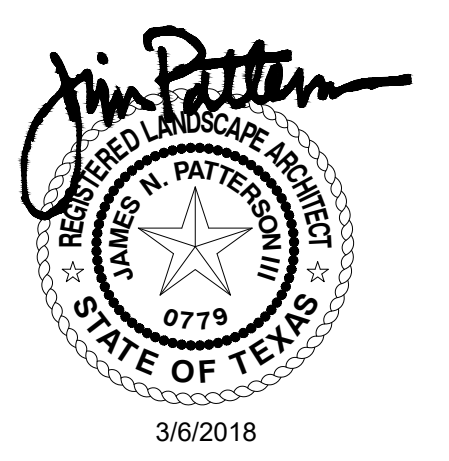
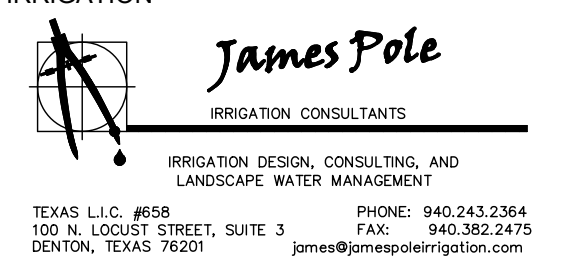


STRUCTURAL ENGINEER



21834 Northwest Freeway,
Cypress, TX 77429
Texas Registered
Engineering Firm No. 51

IRRIGATION



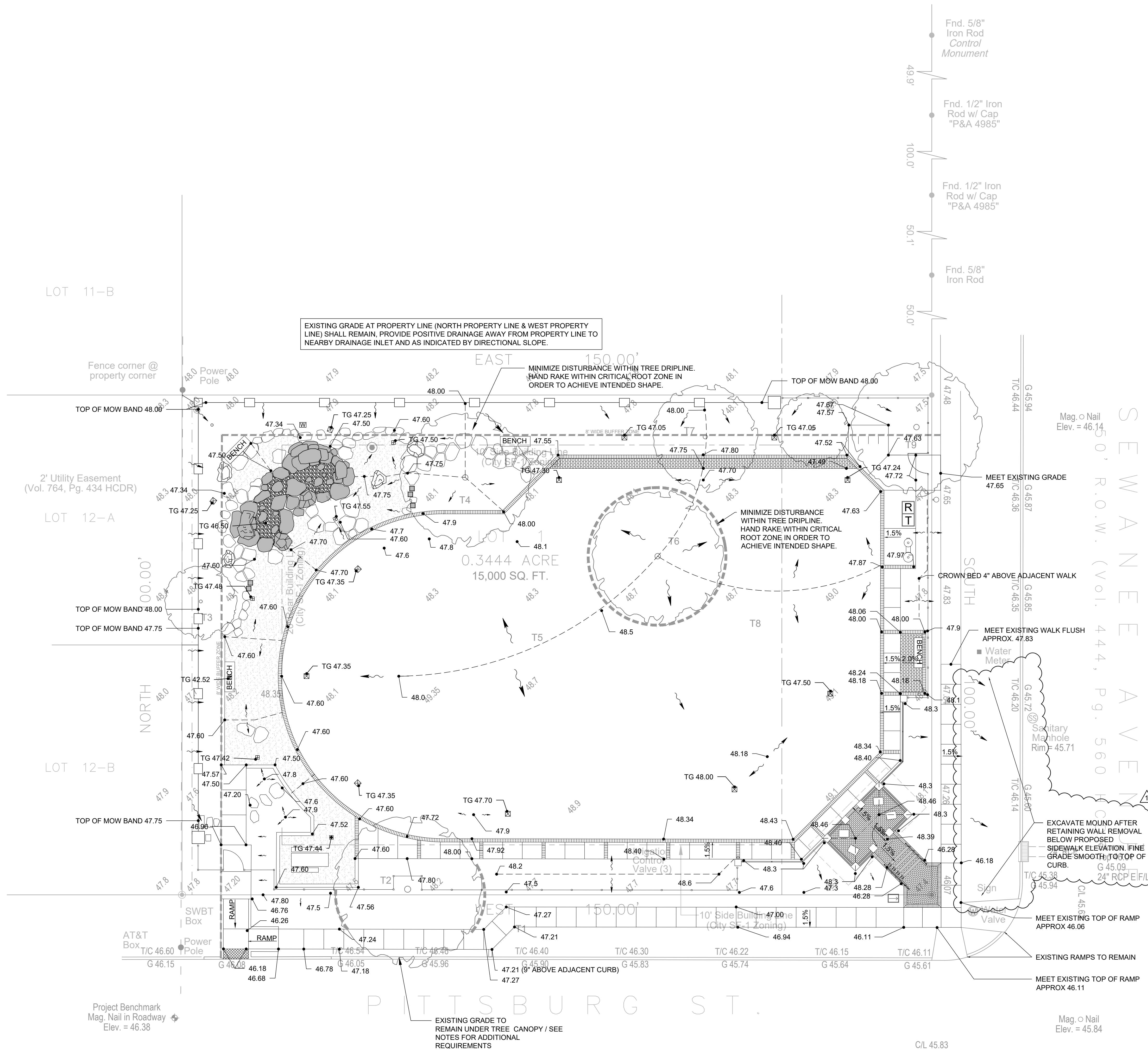
100% CONSTRUCTION DRAWINGS

NO.	DATE:	DESCRIPTION:
	3/6/2018	100% Construction Drawings
	4/11/2018	Addendum #1

ISSUE DATE: NA SCALE: AS NOTED

SITE PREPARATION & TREE DISPOSITION PLAN

L0.01

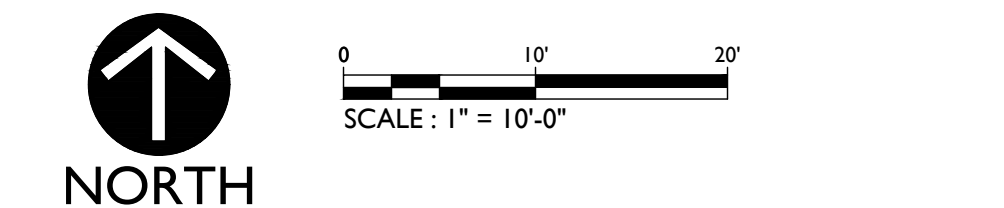


POST CONSTRUCTION SURVEY
Contractor is required to provide a topographic survey documenting finished elevations in compliance with the drawings. Survey shall be sealed by a registered professional surveyor currently licensed in Texas. Submit to the city as part of permit close-out. Additional work and re-survey will be required for non-compliance.

- LANDSCAPE GRADING NOTES**
- Review proposed grades with Landscape Architect prior to rough grading to discuss drainage design and intent.
 - Majority of site will be disturbed in order to meet proposed grades, surplus of soil is expected as a result of grading. Contractor is responsible for removal of excess soil from site.
 - All proposed grades indicate finished surface: top of paving, top of landscape soil, etc.
 - Underground obstructions: known existing underground improvements have been indicated herein and on the survey provided for full information. Coordinate also with the General Contractor and utility location services to determine existence, location and depth of possible existing underground obstructions, before excavating or trenching.
 - Top sod layer (top 2") shall be stripped and discarded from site.
 - Refer to Landscape Grading details for full information about landscape inlets and subdrain pipes.
 - Pedestrian walks: all walks are intended to comply with Texas Accessibility Standards. Contractor shall verify the following before placing pedestrian pavements:
 - No cross-slope (perpendicular to direction of travel) steeper than 2% (1/4" per foot).
 - No longitudinal (with direction of travel) slope steeper than 5% (1' in 20'), except for ramps specifically indicated.
 - Meeting existing grades: Where proposed improvements abut similar existing surface, verify that proposed grade meets existing.
 - Coordinate with the landscape architect to achieve the intended shape of main lawn area. All grade changes in planting and lawn areas shall be smooth and natural in appearance.
 - Fine Grading Review: Arrange review by Landscape Architect of all finished soil grades before planting sod or plants.
 - All earthwork operations are subject to Geotechnical recommendations. Refer to project Geotechnical Report.
 - Topsoil & Planting Soil
 - Refer to planting details and Technical Specifications for requirements.
 - Ensure that surface drainage does not flow onto surrounding properties. Provide positive drainage from property lines at all times throughout the work.

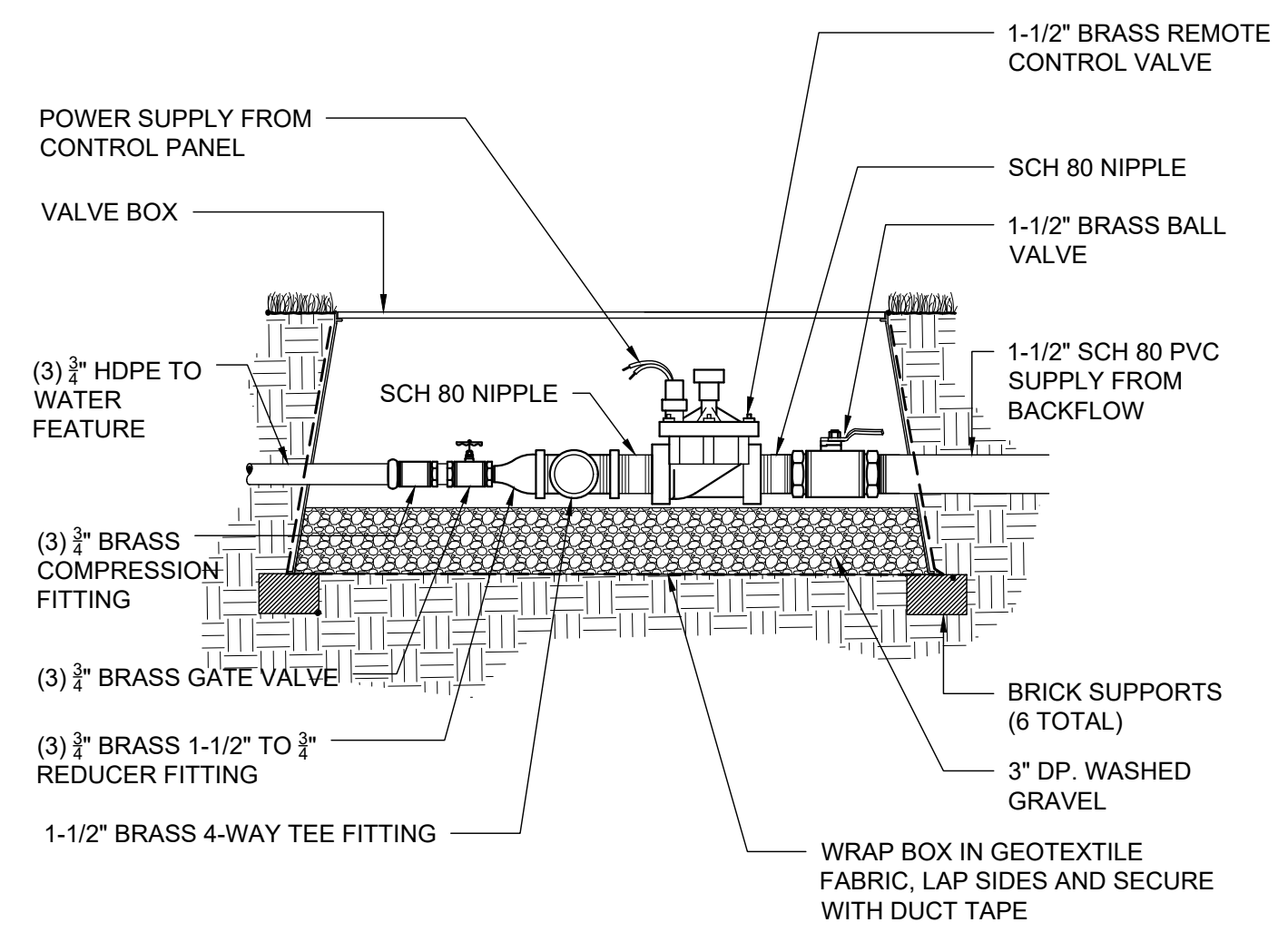
LANDSCAPE GRADING & DRAINAGE LEGEND

- EXISTING SURVEY GRADE
- PROPOSED GRADE or PIPE FLOW LINE
- PROPOSED PLANTING GRADE
- 9" NDS INLET
- 12" NDS INLET (ATRIUM GRATE WITHIN PLANTING BEDS)
- SLOPE DIRECTION

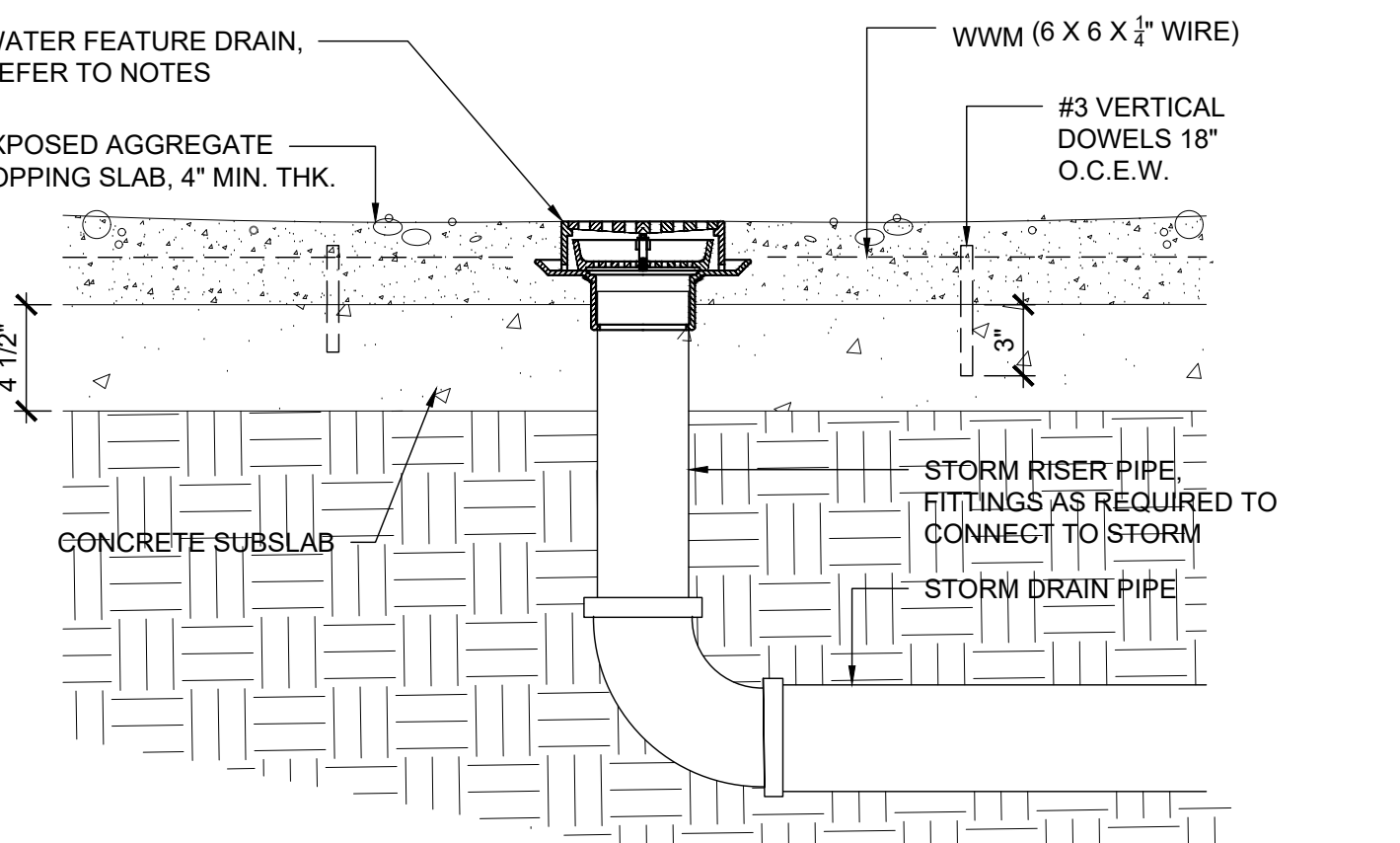


WATER FEATURE NOTES

1. Products & Finishes
 - 1.1. Raindrop Products - Contact Steven Bearden 951.310.1491 - sbearden@rain-drop.com.
 - 1.1.1. Activator Bollard - (BOL-005) by Raindrop Products. Submit standard colors for selection.
 - 1.1.2. Control Panel Timer - (TMR-008) by Raindrop Products.
 - 1.2. Valve Box - Carson T324, Black lid w/ Drop-N-Lock option.
 - 1.3. Valve - 1-1/2" Brass remote control valve, Rainbird EFB-CP.
 - 1.4. Drain - Jay R. Smith floor drain #2109-G. All components galvanized. Contractor shall determine preferred outlet type prior to ordering drain.
 - 1.5. Stacked Stone - 'Alamo Rustic Boulder' as supplied by Alamo Stone (1-800-501-0803) or approved equal. Stone slabs shall be 8"-10" thick with length and width as represented by the drawings. Large Accent Boulders shall be same stone type but hand selected by landscape architect at stone yard.
 - 1.6. Topping Slab shall be custom exposed aggregate finish (mixed onsite).
 - 1.6.1. 2,500 p.s.i. Type S mortar mix.
 - 1.6.2. Aggregate sizes shall range from 3/4" - 6" (+). Visible surface shall contain the mixture of the following aggregate sizes and types.
 - 16.5% 6" Plus Arizona River Rock (by Apex Stone - 979.885.1400) or approved equal. Hand placed and grouted prior to pouring topping slab.
 - 16.5% 3"-6" Arizona River Rock (by Apex Stone) or approved equal
 - 33% 1-1/2"-3" Arizona River Rock (by Apex Stone) or approved equal
 - 33% 3/4"-1-1/2" Arizona River Rock (by Apex Stone) or approved equal
2. Water effect is an original creation, intended to be natural in appearance. Contractor shall cooperate with landscape architect to achieve design intent for stone placement, joints, concrete surfaces and water effects, including minor additions or changes as required by the landscape architect. Include adequate provision for labor and materials in Water Feature scope of work.
2. Submittals -
 - 2.1. Submit product information for all components.
 - 2.2. Representative samples of stone and rock. 1 gallon sample of each rock size. Photographs of representative boulders.
3. Mock-Ups
 - 3.1. Boulders - In place dry stack each level of stone for review and approval by landscape architect prior to grouting and pinning in place.
 - 3.2. Exposed Aggregate - Provide (3) 18" X 18" exposed aggregate mock-ups for review / comment / approval by landscape architect. Mock-ups shall be provided in sequence to allow comment and revision by contractor on subsequent mock-ups. Exposed aggregate method determined by contractor, sandblasting not allowed.
4. Contractor Experience - Contractor shall have 5 years experience with similar work. Landscape architect may require references from previous work.

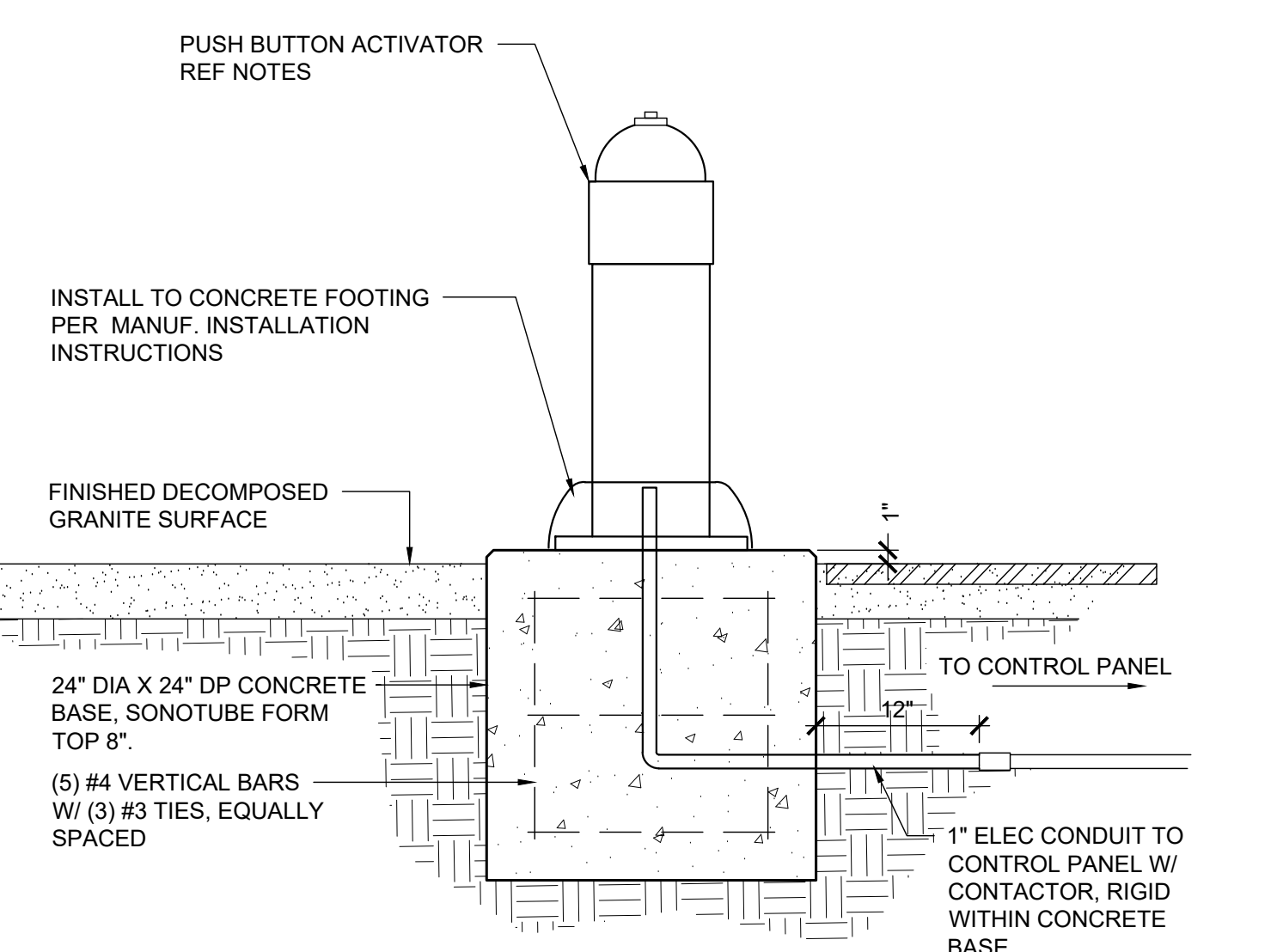


05 VALVE ENCLOSURE SCALE: 1-1/2"=1'-0"

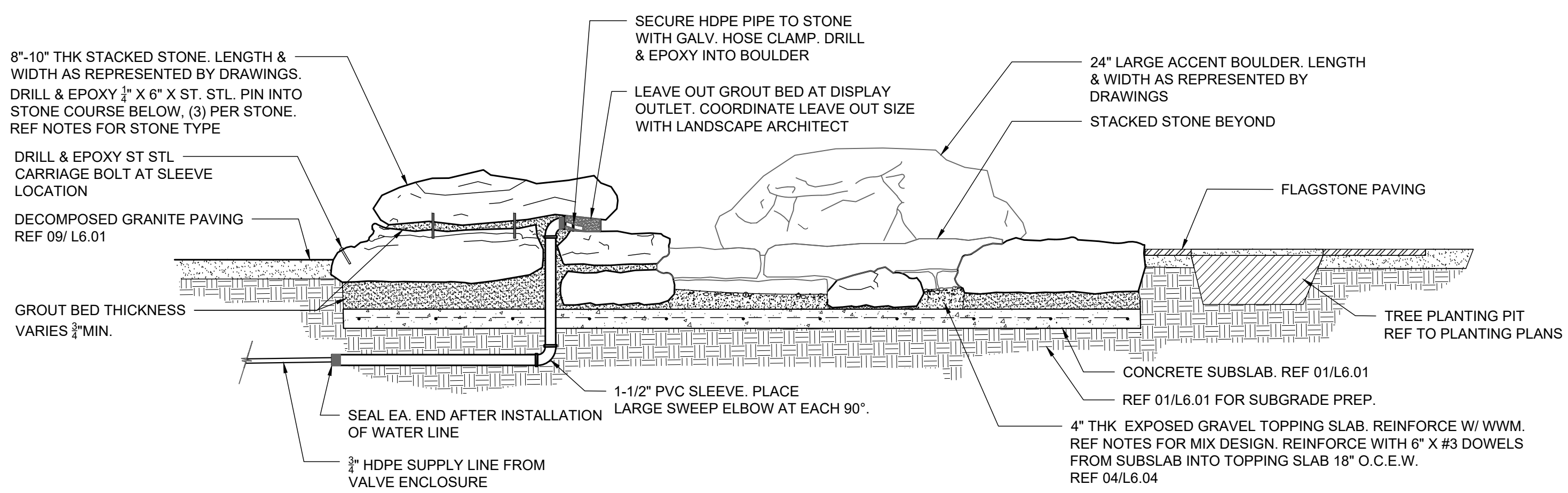


04 WATER FEATURE DRAIN SCALE: 1-1/2"=1'-0"

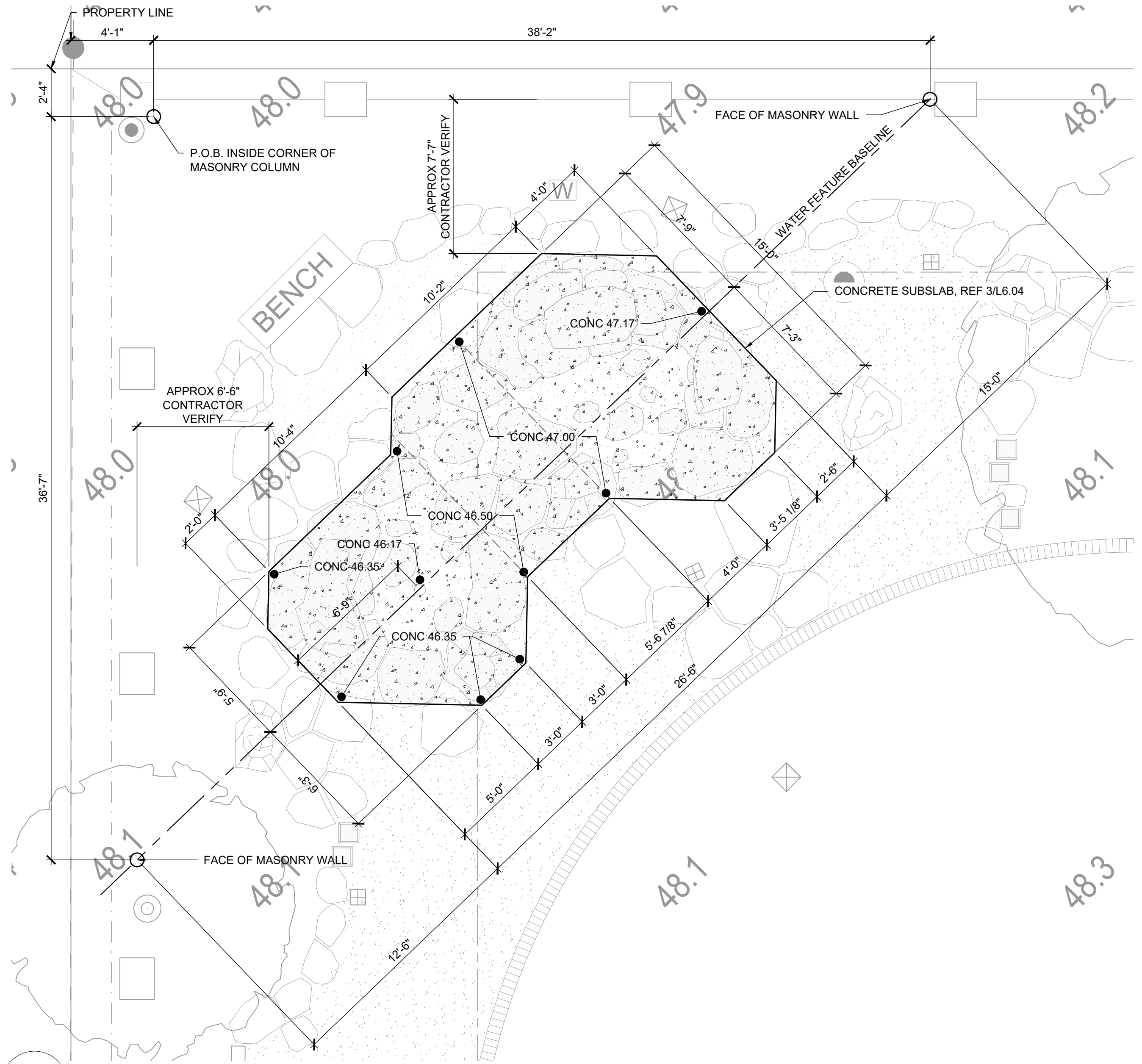
07 WATER FEATURE NOTES SCALE: NA



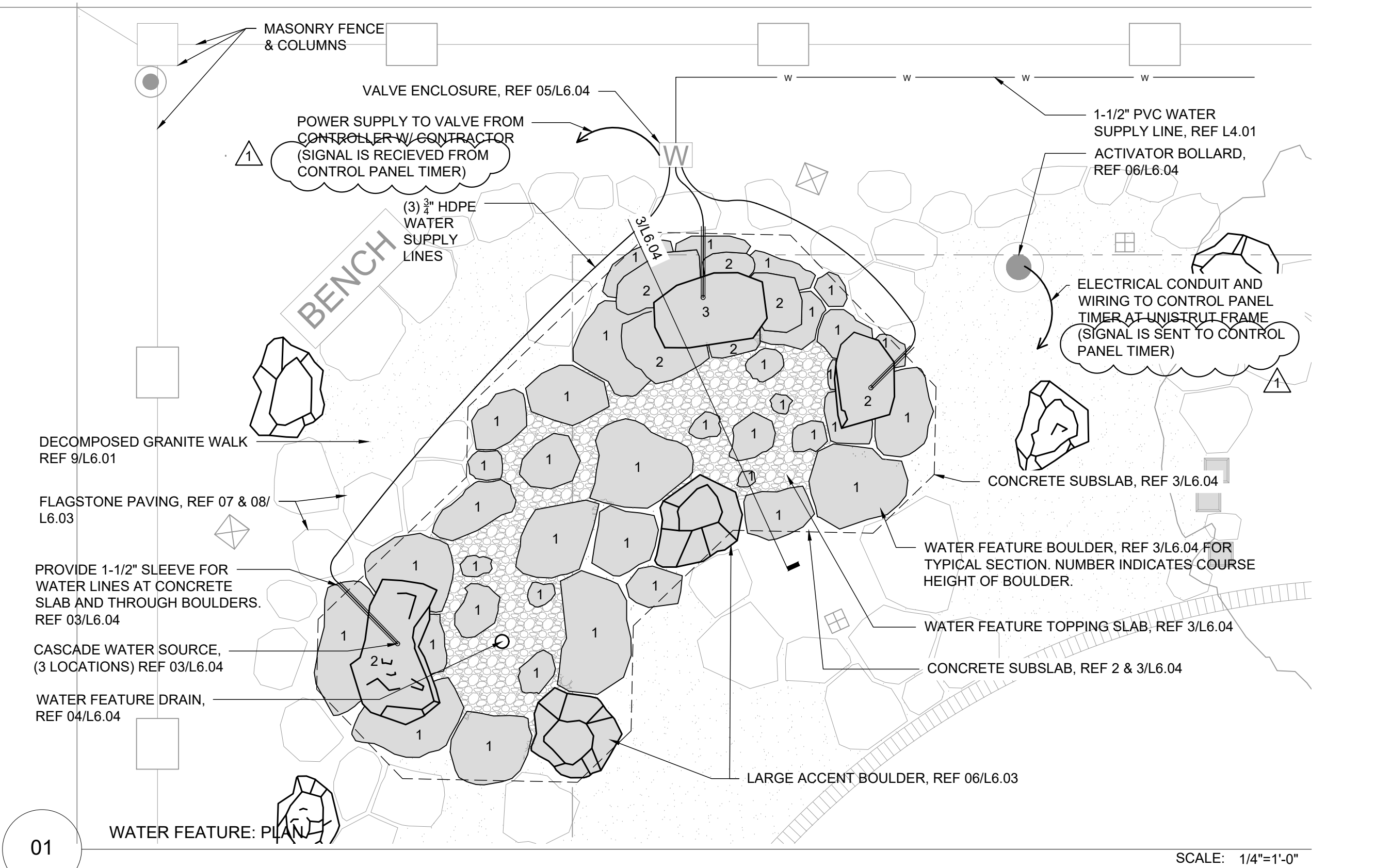
06 ACTIVATOR BOLLARD SCALE: 1-1/2"=1'-0"



03 WATER FEATURE SECTION SCALE: 1/2"=1'-0"



02 WATER FEATURE SUBSLAB LAYOUT & GRADING SCALE: 1/4"=1'-0"



01 WATER FEATURE: PLAN SCALE: 1/4"=1'-0"

JENNIE E. HUGHES PARK IMPROVEMENTS
 6448 Sevane Ave.,
 West University Place, TX 77005



Parks & Recreation Department
 3800 University Blvd.
 West University Place, TX 77005

LANDSCAPE ARCHITECT & PRIME CONSULTANT



STRUCTURAL ENGINEER



21834 Northwest Freeway,
 Cypress, TX 77429
 Texas Registered
 Engineering Firm No. 51

IRRIGATION



IRRIGATION DESIGN, CONSULTING, AND
 LANDSCAPE WATER MANAGEMENT
 TEXAS LLC #608 PHONE: 940.243.2264
 100 N. LOCUST STREET, SUITE 3 FAK: 940.392.2475
 DENTON, TEXAS 76201 james@jamespoleirrigation.com



100% CONSTRUCTION DRAWINGS

NO.	DATE	DESCRIPTION
	3/6/2018	100% Construction Drawings
	4/11/2018	Addendum #1

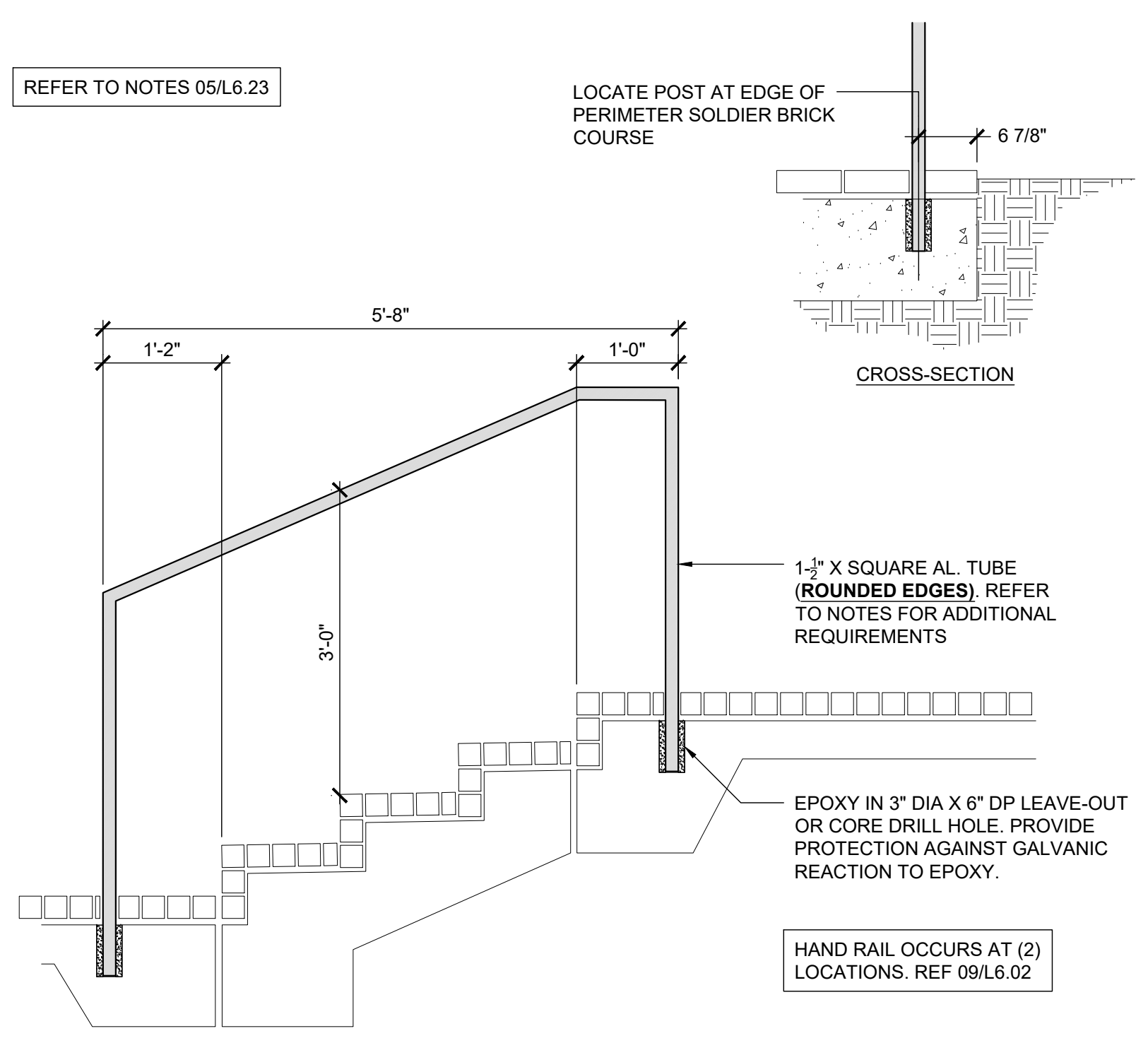
ISSUE DATE: NA SCALE: AS NOTED

DETAILS

L6.04

1. Refer to Specifications for full requirements.
2. All posts, line posts, horizontal bracing, gates set plumb.
3. Contractor: Company with demonstrated successful experience in installing similar projects and have at least 5 years experience.
4. All materials shall be 6061 Extruded Aluminum, square edges, not rounded except for step hand rail shall have rounded edges.
5. All Railing (Pavilion and 16 LF each side) shall be completely shop-welded, prepped and painted prior to delivery to site. Field-measure to ensure snug fit between brick columns. Panels shall be shop-welded to metal posts, ready for installation. No site modification allowed for Railing.
6. All fence panels shall be shop-welded, prepped and painted for field attachment to posts, except fence panel for signs shall be shop-welded to posts, similar to railing panels.
7. Hardware:
 - 7.1. Hinges: SureClose Safety Ready-Fit Hinge, Aluminum Brackets (Paint to match Aluminum Gate)
 - Self Closing Hinge RF-108SF-S (1 per gate)
 - Non Self-Closing Hinge RF-SM-S (1 per gate)
 - Contact: Hardware Source - hardwaresource.com
 - 9.2 Latches: 316 Stainless steel lever handle. No lock. Self-latching. Heavy duty Exterior Application. Provide mfr. information for approval.
8. Finish of all Railing, Hand Railing and Fence materials shall be shop-painted. Prepare surface and apply paint per mfr recommendations. Paint shall be:
 - Sherwin Williams
 - Primer: DTM Wash Primer - 1 coat;
 - Finish Coat: Bond-Plex WB Acrylic, 2 coats
9. Mockups:
 - 9.1. Prepare mockup, including painted finish of one 2' long section of Pavilion Railing and one 2' long section of Park Fence for consultant review and approval, prior to fabrication.
 10. Submittals:
 - 10.1. Submit shop drawings and product data for approval, prior to order or fabrication. Include accessories, fittings, hardware, anchorages, and schedule of components.

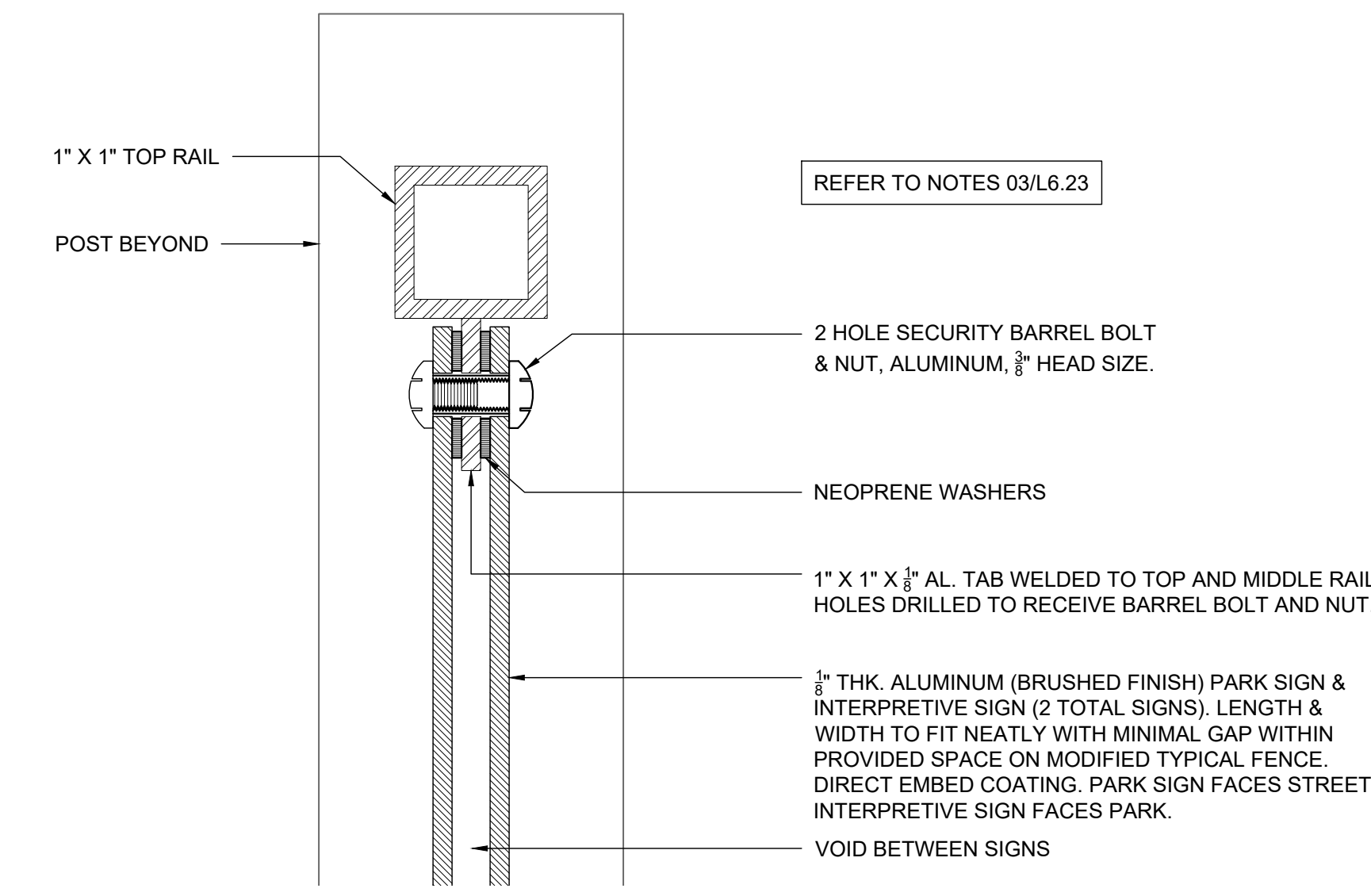
05 RAILING, STEP HAND RAIL AND FENCE NOTES SCALE: NA



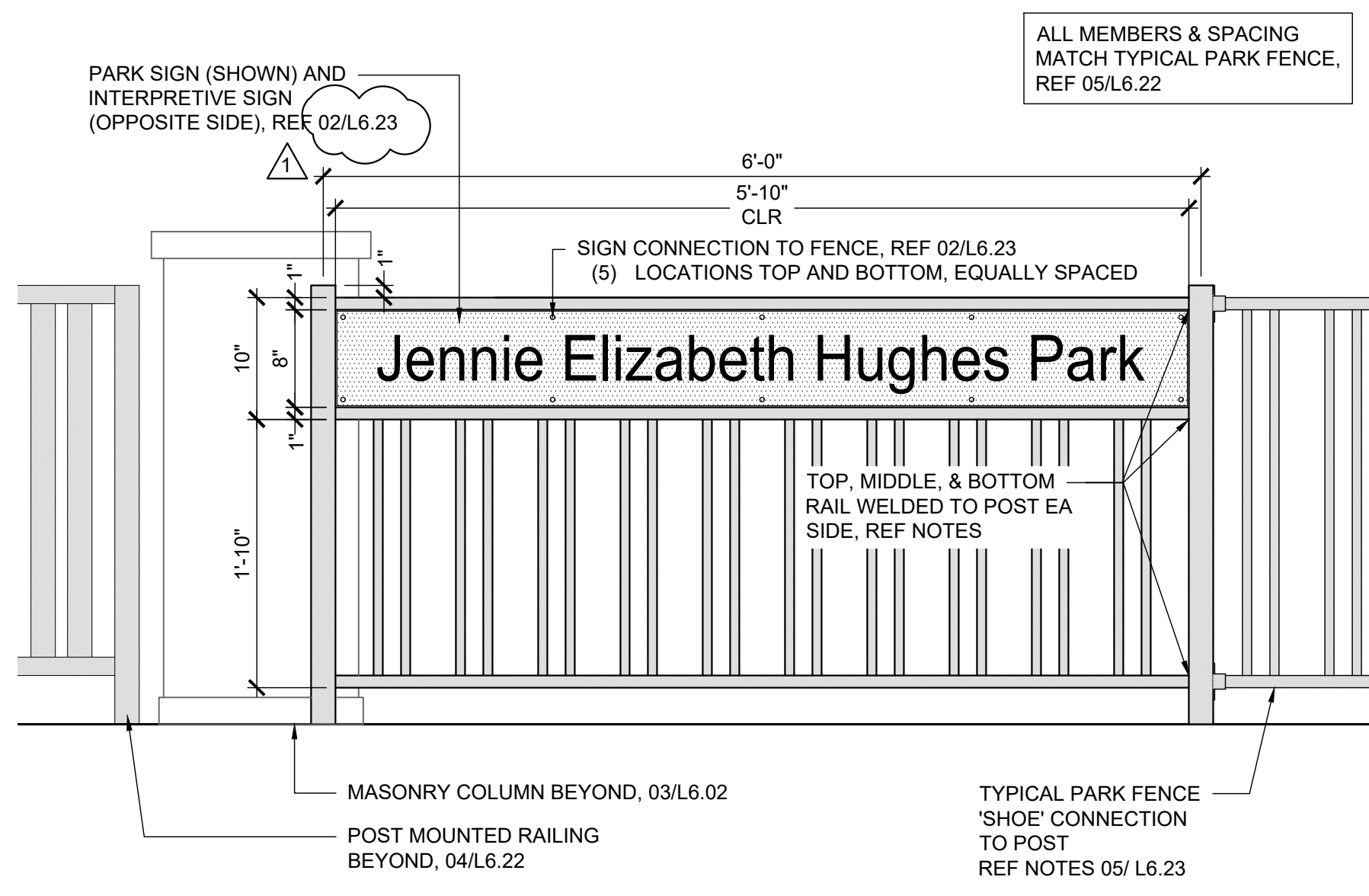
04 STEP HANDRAIL - SECTION SCALE: 1"=1'-0"

1. (2) total signs, Park Sign faces street, Interpretive Sign faces park
2. Landscape Architect to provide digital file of sign for production purposes
3. Contractor shall verify dimensions of fence opening and coordinate with sign vendor to ensure neat, snug fit of signs within the opening.
4. Signs graphics shall be Powder Coated High-Resolution Embedded Coating
5. Coating provider shall be Direct Embed Coating Systems or approved equal; 6 Morris St., Paterson, NJ 07501. ASD. Tel: (954) 825-0410. Email: info@directembedcoating.com. Web: http://www.directembedcoating.com
6. Submittals
 - 6.1. Shop Drawings: For all fabrications, including details of construction and attachment to fence
 - 6.2. Manuf. data sheets
 - 6.3. Verification Samples: For each finish product specified, minimum size 6 inches square representing actual product, color, and patterns
7. Mockups
 - 7.1. 6"x6"x1/8" aluminum plate of each sign, with portion of specified design to represent letters, photo image, etc. included in the sign.

03 PARK SIGN & INTERPRETIVE SIGN NOTES SCALE: NA



02 PARK SIGN & INTERPRATIVE SIGN SCALE: 1'-0"=1'-0"



01 MODIFIED TYPICAL PARK FENCE AT PARK SIGN & INTERPRATIVE SIGN SCALE: 1"=1'-0"



Parks & Recreation Department
3800 University Blvd.
West University Place, TX 77005

LANDSCAPE ARCHITECT & PRIME CONSULTANT



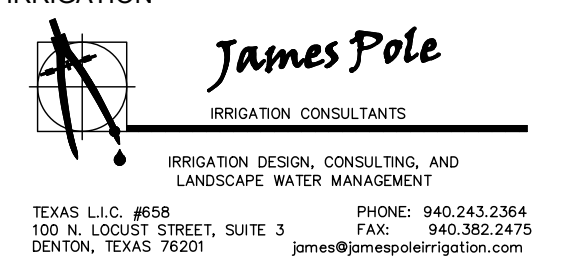
611 W. 22nd Street Suite 202 Houston, TX 77008 713.682.2638

STRUCTURAL ENGINEER

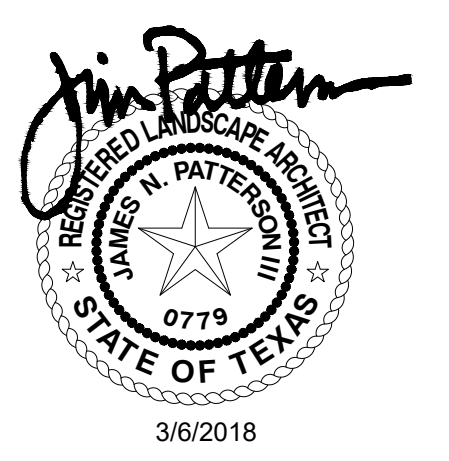


21834 Northwest Freeway,
Cypress, TX 77429
Texas Registered
Engineering Firm No. 51

IRRIGATION



IRRIGATION DESIGN, CONSULTING, AND LANDSCAPE WATER MANAGEMENT
TEXAS LLC #608 PHONE: 940.243.2264
100 N. LOCUST STREET, SUITE 3 FAK: 940.382.2475
DENTON, TEXAS 76201 james@jamespoleirrigation.com



100% CONSTRUCTION DRAWINGS

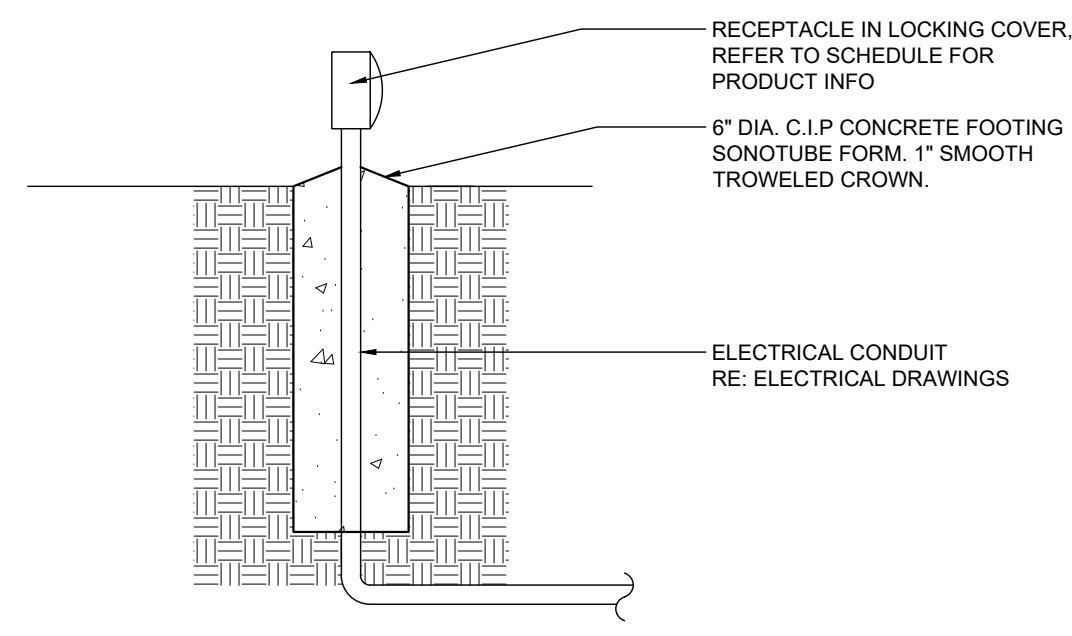
NO.	DATE:	DESCRIPTION:
3/6/2018	100% Construction Drawings	
4/11/2018	Addendum #1	

ISSUE DATE: NA
SCALE: AS NOTED

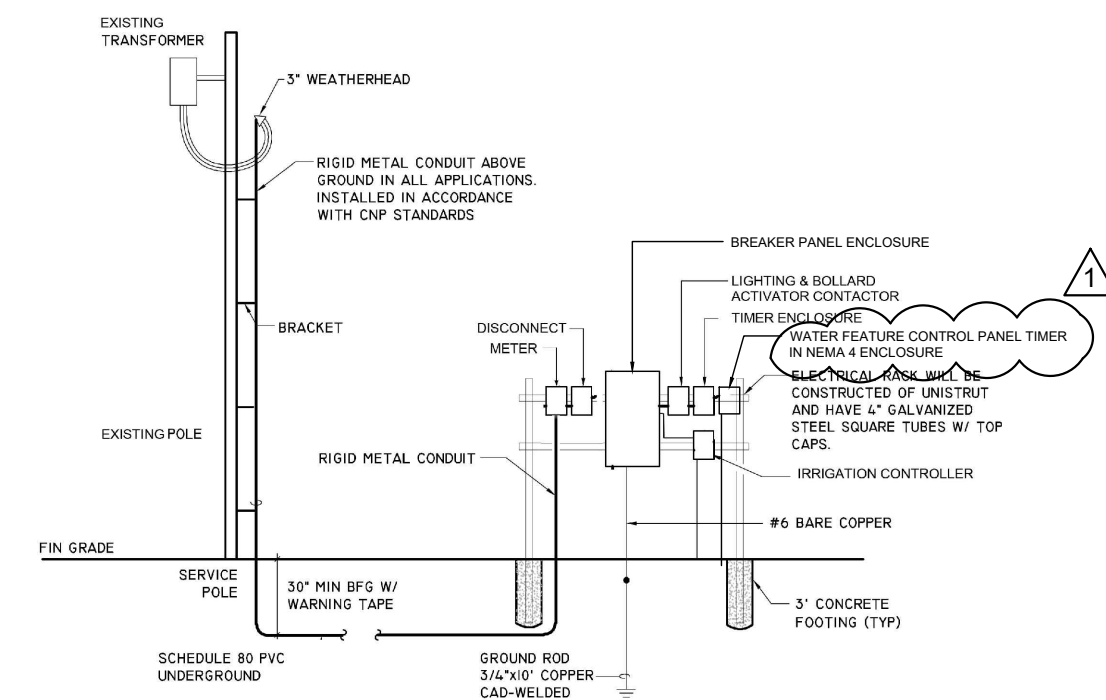
FENCE, SIGN, & RAILING DETAILS

L6.23

LIGHTING/ ELECTRICAL SCHEDULE & ACCESSORIES						
QTY	DESCRIPTION	MANUFACTURER/SUPPLIER	MODEL	FINISH/COLOR	CONTACT	NOTES
1	Ceiling Fan	Hunter	Original 52" Outdoor Damp Ceiling Fan - (23845)	White	www.ceilingfan.com	Install per manuf installation instructions.
2	Electrical Receptacle					
2	Receptacle Cover	Hubbell Bell	5861-0 Raygaud Extra Duty In-Use Cover	Die-Cast Aluminum		
4	4" Recessed Fixture at Pavilion (Exterior Grade)			White		Submit recommended product. Recessed Downlight Kit, White Trim, LED, Warm Light Color, Capable of receiving 10 Watt, 120 Volt LED PAR 30 Lamp, E26 Medium Base, 830 Lumens, 40 Degree Flood
7	Tree Moon Lights	Techlight - Fixture Moon Visions - Lamp	Fixture - R-Series Large Aluminum Bullet Lamp - LED Par38 22W	Black	www.Techlightusa.com	Include tree base, conduit base, junction boxes, transformers.
3	Timer	Zoro	#G0922817		www.Zoro.com	(1) timer for ceiling fan (1) timer for pavilion lighting (1) timer for tree moon lighting. All timers located at electrical panel



A SITE ELECTRICAL RECEPTACLE SCALE: NA



A SITE ELECTRICAL RACK DIAGRAM SCALE: NA

ELECTRICAL NOTES

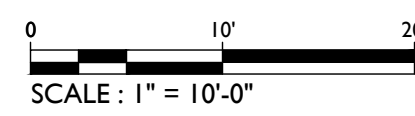
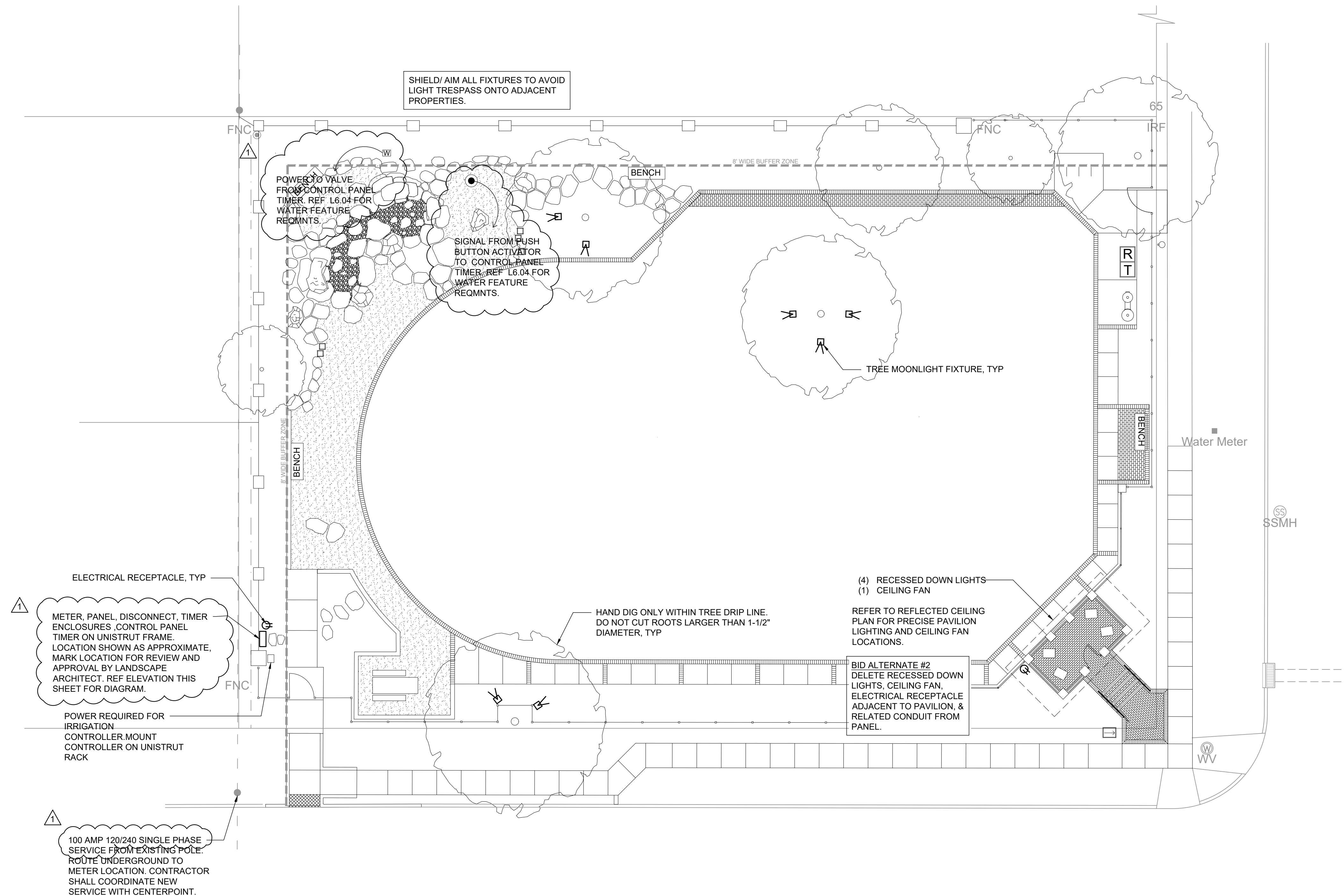
- 2011 National Electrical Code is the minimum standard to be followed.
- Provide 100 Amp 120/ 240 Single Phase Service with single ext. disconnect.
- Panel shall have 40-Amp In-Type breakers.
- All lighting circuits and convenience outlet circuits shall be wired with 12 gauge wire and have 20 amp circuit capacity.
- All circuits shall be ground fault (GF) protected.
- Any required electrical splicing must be done within electrical box.
- Pull boxes shall be Quazite type. Contractor shall utilize smallest pullbox needed to perform work.
- All enclosures shall be locking, NEMA 3 rated.
- All timers shall be housed in an enclosure mounted on unistrut rack. Unistrut rack shall be smallest size as required to hang all electrical components.
- Contractor is responsible for all permits and submittals to the city.
- Include all related wiring, conduit, low voltage wiring, connections, and fittings as required for a complete lighting system.
- Contractor shall submit One Line Diagram and Load Calculations to West U. Permit Office & Centerpoint.

SUBMITTALS

- Contractor shall submit conduit routing and pull box locations to Landscape Architect for review and approval. All pull boxes shall be located within lawn or hardscape areas.
- Submit all electrical products/ items for review and approval.
- Shop drawing of rack and equipment

TREE LIGHT REQUIREMENTS & NOTES

- Tree lighting installation shall be performed by company with minimum 5 years experience with similar work.
 - Pre-approved lighting company
Illuminations Lighting Design
Rick Lubeger
713-987-9302
- Provide 10' tall flexible conduit on trunk of trees. Neatly fasten to without damage to tree.
- Conduit route to trunk of tree, within tree dripline, shall be direct radial path to trunk, hand dig only. Do not cut tree roots larger than 1-1/2" diameter in size.
- Grey wire on tree trunk. Install with stainless steel standoff bolts. Discuss mounting, riser location, and overall installation with Landscape Architect prior to installation.



JENNIE E. HUGHES PARK IMPROVEMENTS
6448 Sewanee Ave.,
West University Place, TX 7005



Parks & Recreation Department
3800 University Blvd.
West University Place, TX 77005

LANDSCAPE ARCHITECT & PRIME CONSULTANT



STRUCTURAL ENGINEER



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Cypress, TX 77429
Texas Registered
Engineering Firm No. 51

IRRIGATION



100% CONSTRUCTION DRAWINGS

NO.	DATE	DESCRIPTION
	3/6/2018	100% Construction Drawings
	4/11/2018	Addendum #1

ISSUE DATE: NA
SCALE: AS NOTED

LANDSCAPE ELECTRICAL PLAN

LE1.01