

HARRIS COUNTY ENGINEERING DEPARTMENT

HARRIS COUNTY DISTRICT ATTORNEY
BUILDING DEMOLITION AND SITE IMPROVEMENTS
201 FANNIN STREET, HOUSTON TX-77002
HARRIS COUNTY, PRECINCT 1
ISSUE FOR CONSTRUCTION

RODNEY ELLIS
COMMISSIONER PRECINCT 1

JACK MORMAN
COMMISSIONER PRECINCT 2

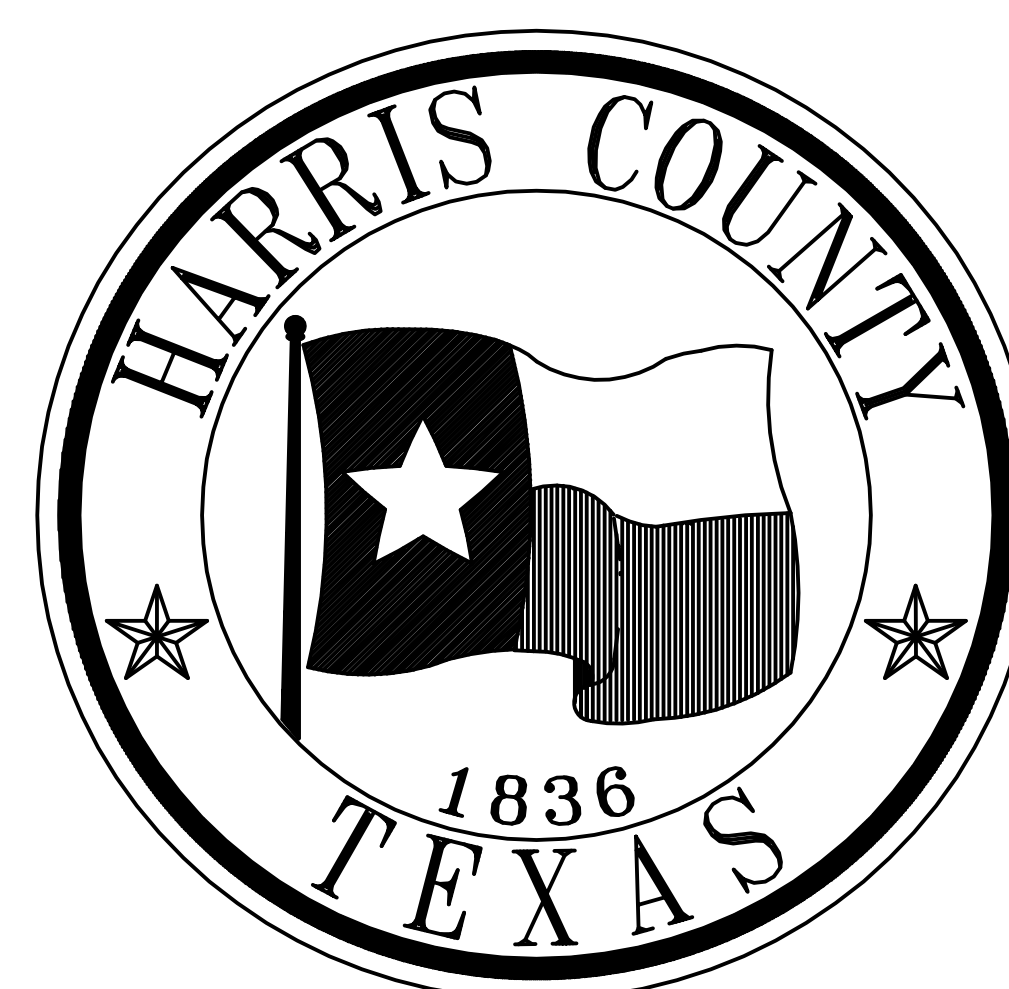
MICHAEL POST C.P.A.
COUNTY AUDITOR

ED EMMETT
COUNTY JUDGE

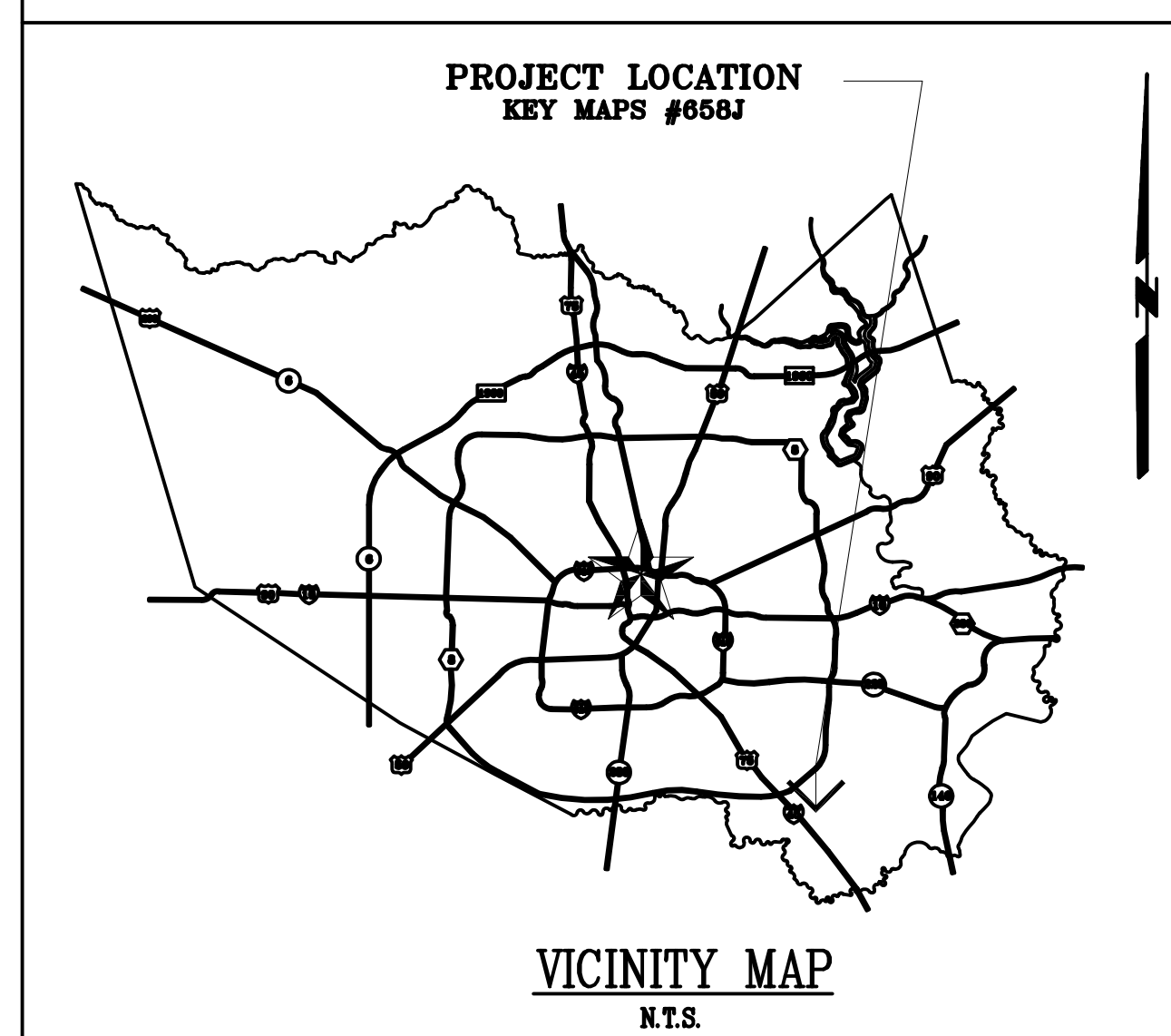
STEVE RADACK
COMMISSIONER PRECINCT 3

R. JACK CAGLE
COMMISSIONER PRECINCT 4

JOHN R. BLOUNT, P.E.
COUNTY ENGINEER



NOVEMBER 17 2017
PRECINCT 1
Harris County, Texas





HARRIS COUNTY DISTRICT ATTORNEY BUILDING DEMOLITION & SITE IMPROVEMENT



ISSUE FOR CONSTRUCTION

DATE ISSUED:
2017 11 17

DISTRICT ATTORNEY BUILDING DEMOLITION & SITE IMPROVEMENT

PROJECT NO. : 17-00017-00

201 FANNIN STREET
HOUSTON, TX - 77002

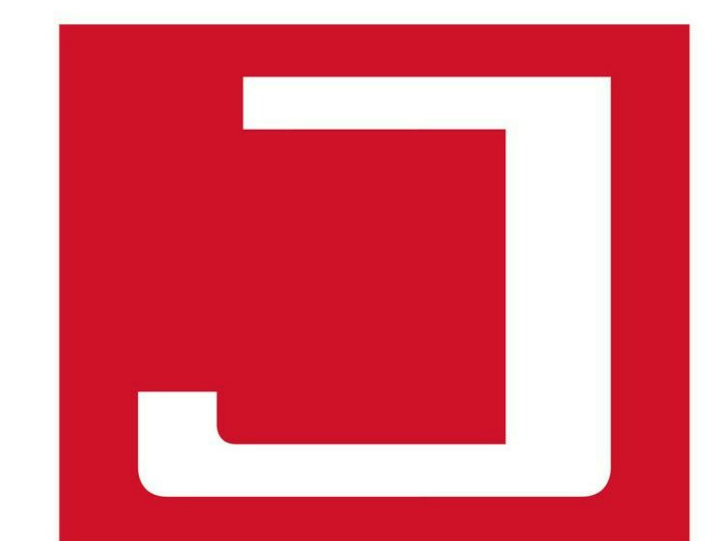
CONSULTANTS:

STRUCTURAL

Henderson Rogers
2603 Augusta, Suite 800
Houston, TX - 77057

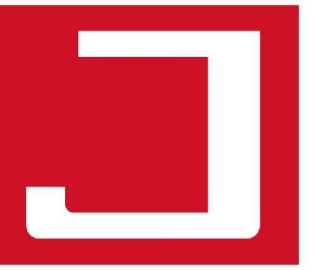
CIVIL / MEP

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2603 Augusta, Suite 1500
Houston, TX - 77057



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Houston, TX 77057
713.244.8300
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CLIENT:



STRUCTURAL

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structural engineers

CIVIL - MEP

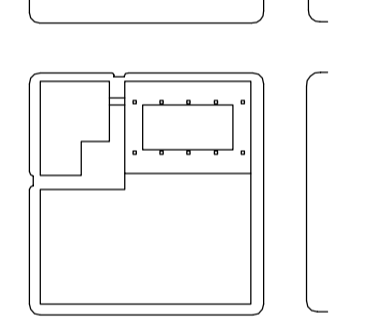


SURVEYOR

PROJECT TITLE:

DISTRICT
ATTORNEY
BUILDING
DEMOLITION &
SITE
IMPROVEMENT

PLAN KEY:



PROFESSIONAL SEAL



SSH INC.
TBP# FIRM # F-000175
2017 11 17

PROJECT SUBMISSION:
ISSUE FOR
CONSTRUCTION

DATE: 2017 11 17

NO. REVISION/ISSUE YYYY MM DD

PROJECT NO. 17-00017-00

DRAWN BY Author

SHEET TITLE:

DEMOLITION PLAN

SHEET:

C2.01

KEY NOTES LEGEND

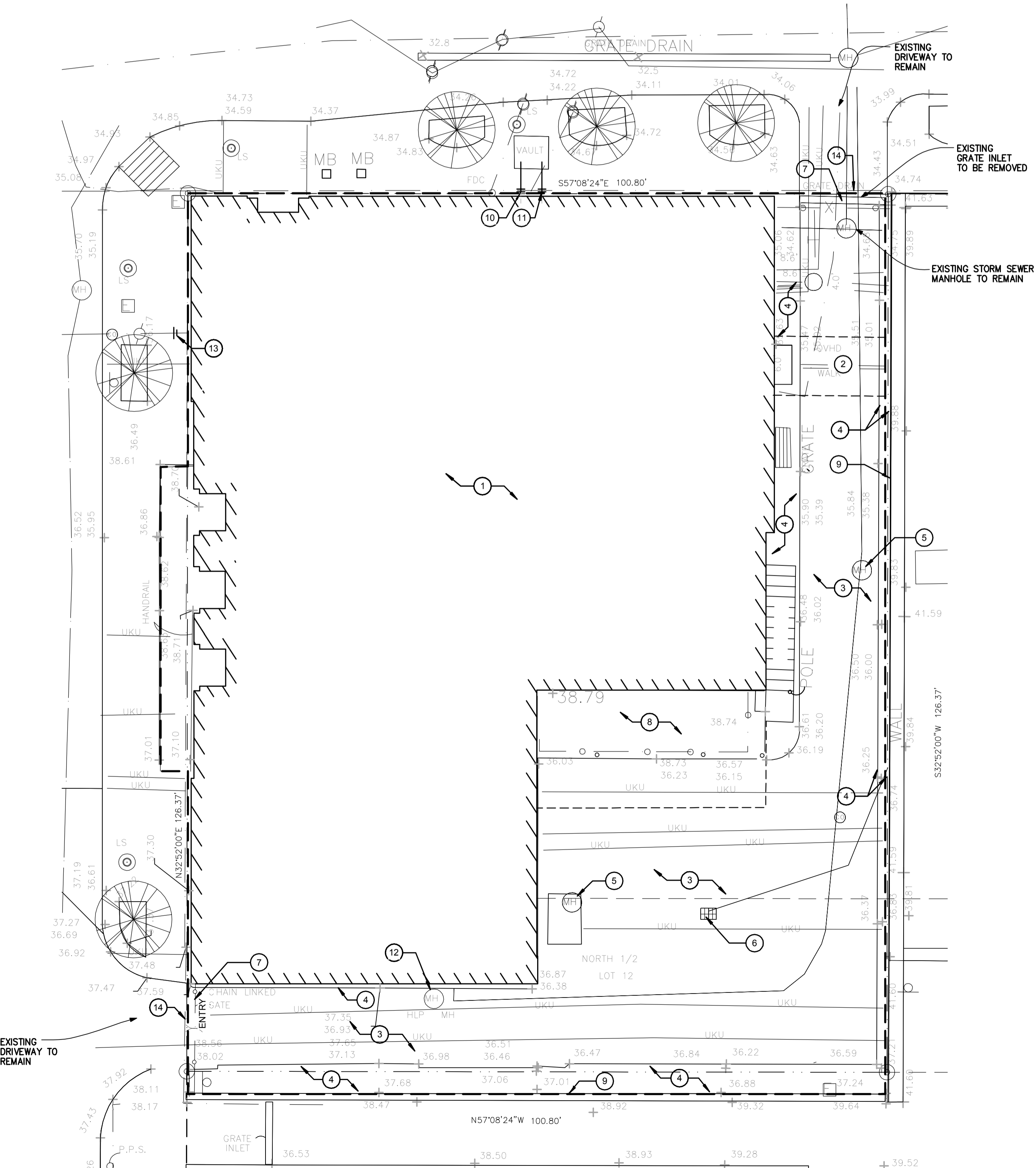
1. REMOVE EXISTING 10 STORY BUILDING (REF. ARCH AND STRUCTURAL PLANS FOR MORE DETAILS).
2. REMOVE SKY BRIDGE CONNECTOR BETWEEN D.A. BUILDING AND FAMILY LAW BUILDING (REF. ARCH AND STRUCTURAL PLANS FOR MORE DETAILS).
3. REMOVE EXISTING CONC. PAVEMENT.
4. REMOVE EXISTING CURB AND SIDEWALK.
5. REMOVE EXISTING MANHOLE AND ALL ASSOCIATED PIPING UNLESS OTHERWISE NOTED ON PLANS.
6. REMOVE EXISTING INLET.
7. REMOVE EXISTING FENCE AND GATE ALONG WITH ALL POSTS AND ASSOCIATED APPURTENANCES.
8. REMOVE EXISTING PLATFORM, STAIRCASE AND FENCING.
9. EXISTING WALL TO REMAIN - PROTECT DURING DEMOLITION AND CONSTRUCTION.
10. CUT AND PLUG EXISTING FIRE LINE. REMOVE EXISTING LINE BEYOND CUT.
11. CUT AND PLUG EXIST WATER LINE. REMOVE EXISTING LINE BEYOND CUT.
12. REMOVE EXISTING CENTERPOINT MANHOLE AND UNDERGROUND LINES - REFER ELECTRICAL.
13. CUT, PLUG AND ABANDON EXIST. SANITARY SEWER.
14. FULL DEPTH SAW CUT EXISTING CONCRETE AT PROPERTY LINE. PROTECT EXISTING CONCRETE DRIVE TO REMAIN.

GENERAL NOTES - DEMOLITION CIVIL

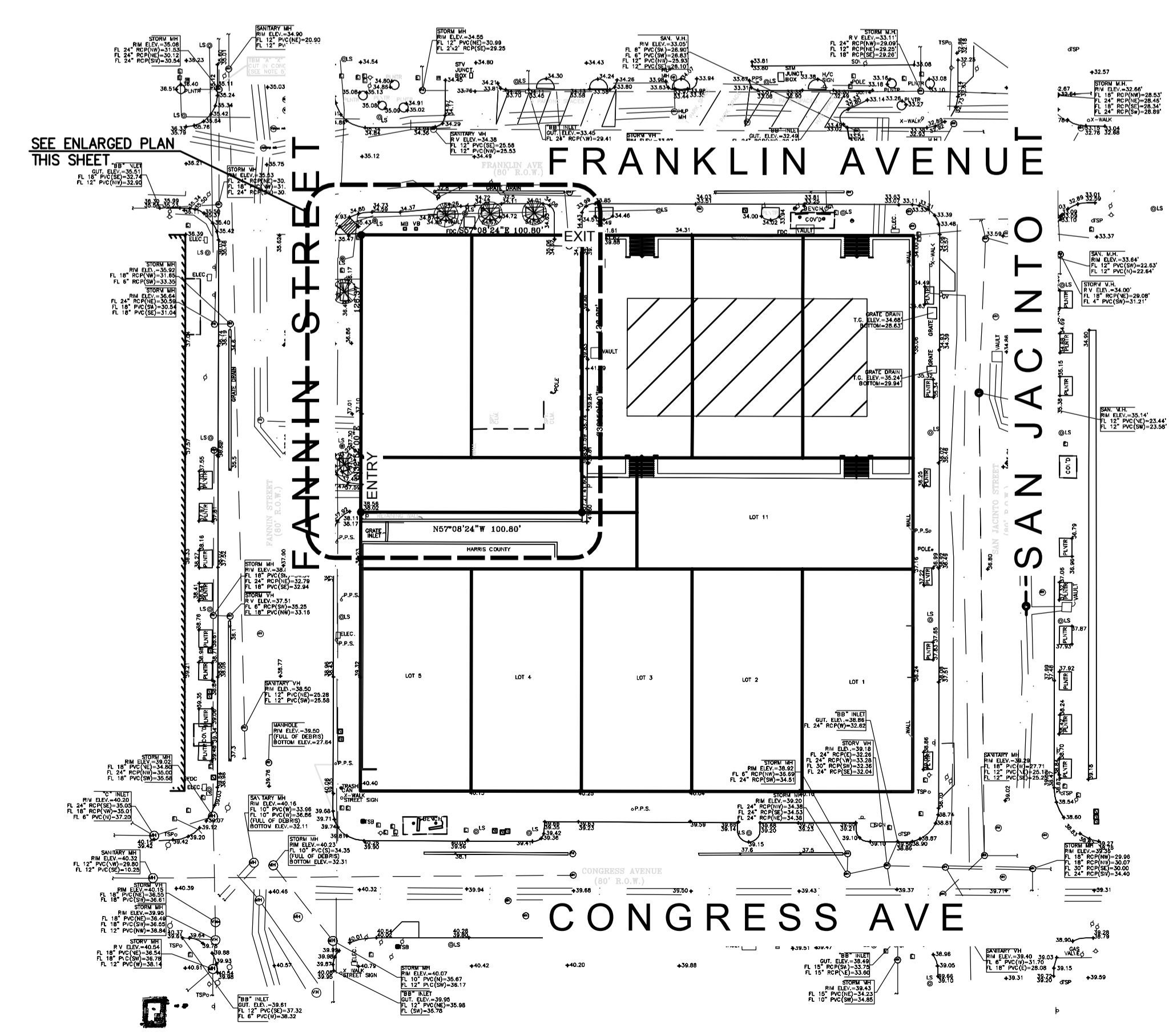
- A. CONTRACTOR TO REMOVE AND DISPOSE OF ALL ITEMS WITHIN THE LIMITS OF DEMOLITION UNLESS OTHERWISE MENTIONED ON PLANS.
- B. CONTRACTOR TO PROTECT ALL EXISTING TREES AND THEIR IRRIGATION SYSTEMS IN ROW.
- C. ALL TREE PROTECTION FENCING MUST BE INSTALLED PRIOR TO COMMENCEMENT OF DEMOLITION PER LANDSCAPE PLANS.
- D. REFERENCE ARCH. & STRUC. PLANS FOR REMOVAL OF EXISTING BUILDING.
- E. FOR ELECTRICAL POLES, WIRING AND OTHER ELECTRICAL APPURTENANCES REMOVAL/RELOCATION REFER ELECTRICAL PLANS.
- F. CONTRACTOR TO PROTECT ALL EXISTING LIGHT STANDARDS AND ASSOCIATED ELECTRICAL APPURTENANCES WITHIN THE ADJACENT ROW.
- G. CONTRACTOR TO REPAIR AND REPLACE CITY SIDEWALKS, CURBS, LIGHT POLES, SIGNAL POLES, PARKING METERS, AND ANY OTHER SUCH ITEMS IN THE PUBLIC ROW ALONG FANNIN ST. AND FRANKLIN ST. DAMAGED DURING DEMOLITION AND/OR CONSTRUCTION.
- H. CONTRACTOR TO COORDINATE WITH CITY OF HOUSTON, METRO, HOUSTON DOWNTOWN DISTRICT AND ANY OTHER SUCH REGULATORY AUTHORITIES AND OBTAIN PRIOR APPROVAL OF TRAFFIC CONTROL PLANS AND MEASURES FOR LANE CLOSURES ALONG FANNIN ST. AND FRANKLIN ST. PRIOR TO COMMENCEMENT OF DEMOLITION AND/OR CONSTRUCTION.
- I. CONTRACTOR TO COORDINATE LEASING CURB PARKING SPACES FROM HOUSTON PARKING MANAGEMENT ALONG FANNIN ST. PRIOR TO COMMENCEMENT OF DEMOLITION AND/OR CONSTRUCTION.
- J. CONTRACTOR TO MANAGE PEDESTRIAN TRAFFIC DURING DEMOLITION AND/OR CONSTRUCTION ALONG FRANKLIN ST. AND FANNIN ST. AND PROVIDE COVERED WALKWAYS AND PEDESTRIAN TRAFFIC ROUTING AS NECESSARY IN COORDINATION WITH AND WITH PRIOR APPROVAL FROM THE CITY OF HOUSTON.
- K. CONTRACTOR TO REMOVE ALL ABOVE GROUND AND UNDERGROUND FEATURES MENTIONED ON PLANS.
- L. CONTRACTOR TO CUT, PLUG, AND ABANDON ALL UNDERGROUND UTILITIES UNLESS OTHERWISE MENTIONED ON PLANS.
- M. REMOVE ALL UNDERGROUND STORM SEWER PIPE NOT INDICATED TO REMAIN.

LEGEND

--- LIMITS OF DEMOLITION



CIVIL SITE DEMOLITION PLAN
1" = 10'-0"



CIVIL SITE DEMOLITION OVERALL
1" = 50'-0"

DRAINAGE DESIGN

CITY OF HOUSTON STORM SEWER DESIGN

Project Name: HC DA BUILDING DEMOLITION/PARKING
 0338-0129
 Designed by: RHG

Design Frequency= 2 Yr
 Tailwater Elev= 34.06
 b d e
 75.01 16.2 0.8315

RUN	SECTION	DRAINAGE AREA (Ac)	RUNOFF COEFF C	CUMM AREA (Ac)	CUMM C*A	SUB AREA TIME OF CONC Tc (min)	SUB AREA INTENSITY I (in/hr)	SUB AREA RUNOFF Qs (cfs)	CUMM TIME OF CONC Tcu (min)	CUMM INTENSITY Icu (in/hr)	CUMM RUNOFF Qtc (cfs)	REACH LENGTH ft	PIPE DIA. in.	PIPE SLOPE S (%)	MANNING'S n	FULL FLOW CAPACITY Qf (cfs)	FULL FLOW VELOCITY Vff (fps)	MH DROP (ft)	UPSTREAM FL (ft)	DOWNSTREAM FL (ft)	VELOCITY ACTUAL Vact (fps)	HGL SLOPE (%)	UPSTREAM HGL	DOWNSTREAM HGL	
B	1	3	0.00	0.80	0	15.00	4.29	0.00	15.00	4.29	0.00	10	12	0.3800	0.012	2.39	3.04	0.00	32.93	32.85	0.00	0.0000	34.08	34.08	
	2	2	0.14	0.80	0.14	0.112	22.07	3.62	0.41	22.07	3.62	0.41	57	12	0.3800	0.012	2.39	3.04	0.00	32.85	32.63	0.04	0.0112	34.08	34.07
	3	1	0.16	0.80	0.3	0.24	22.24	3.61	0.46	23.09	3.54	0.85	20	12	0.3800	0.012	2.39	3.04	0.00	32.63	32.59	0.09	0.0492	34.07	34.06

DETENTION SUMMARY

EXISTING
 BUILDING 8047 SF
 PAVING 3,777 SF
 WALKS 1,060 SF
 TOTAL 12,884 SF + 0.30AC

FINAL
 BUILDING 0 SF
 PAVING 12,029 SF
 WALK 0 SF
 TOTAL 12,029 SF + 0.28 AC

CHANGE IN IMPERVIOUS COVER
 REMOVED BUILDING AND WALKS +12,804 SF
 PROPOSED PAVING + 12,029 SF
 DECREASE IMPERVIOUS COVER = 876 SF

DETENTION REQUIRED
 EXISTING REDEVELOPED AREA 0.276 AC (1,815CF/AC) = 501 CF
 PROPOSED DECREASE OF IMPERVIOUS COVER 0.02 AC (10,50AC-FT/AC) = 0.01 AC-FT (438 CF)
 TOTAL DETENTION REQUIRED = 501 CF-438 CF = 63 CF

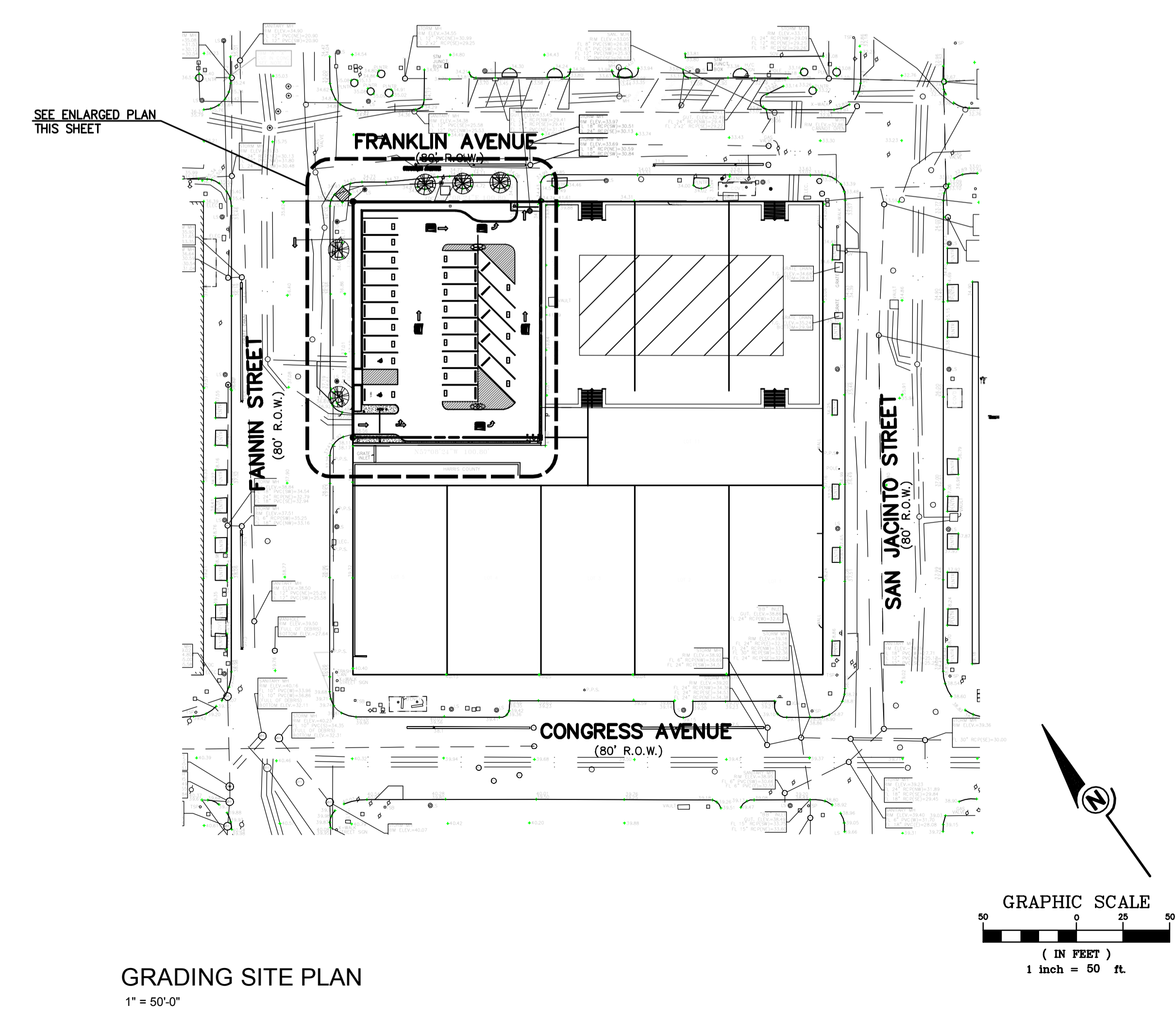
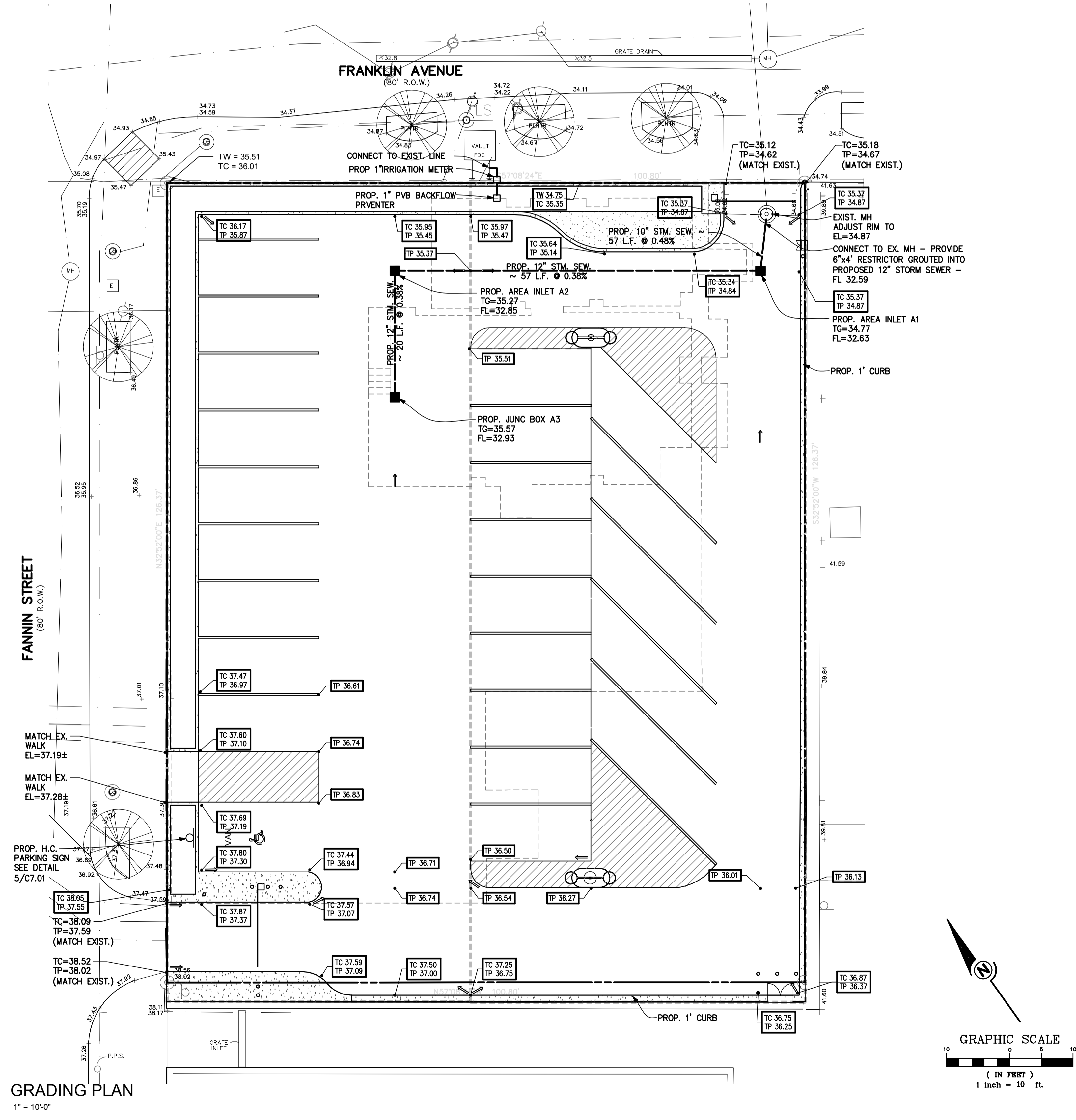
DETENTION PROVIDED
 PROVIDED IN PIPES = 67 CF

RESTRICTOR
 ALLOWABLE RELEASE = Q<0.50 CFS/AC
 Q<0.50 CFS/AC * 0.30 AC = 0.15 CFS

$$A_s = \frac{Q}{C \sqrt{2g} \sqrt{h}} = \frac{0.15 \text{ CFS}}{0.6 \sqrt{2 \times 32.2} \times \sqrt{1.0}}$$

$$D = \sqrt{\frac{A_s \times 4}{6.044CF} + \frac{0.002 \text{ SF} \times 4}{0.32}} = 0.04 \text{ FT} + 0.51 \text{ IN}$$

REQUIRED EXCESS VOLUME = 51,085 SF
 THEREFORE, USE 6 INCH RESTRICTOR

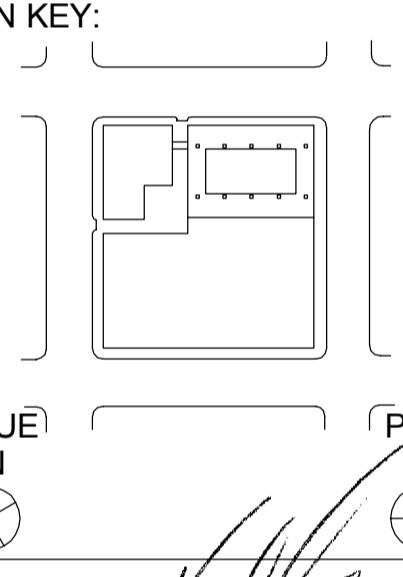


LEGEND		
DESCRIPTION	EXISTING	NEW
PROPERTY LINE	---	---
STORM SEWER LINE	---	---
SANITARY SEWER LINE	---	---
WATER LINE	---	---
GAS LINE	---	---
STORM SEWER INLET	○	●
MANHOLE	□	■
FIRE HYDRANT	+	+
CONTOUR LINE	- - -	- - -
SPOT ELEVATION	▲	▲
SPOT ELEVATION	▲	▲
SPOT ELEVATION	▲	▲
SPOT ELEVATION	▲	▲
SPOT ELEVATION	▲	▲
SPOT ELEVATION	▲	▲
DRAINAGE FLOW	→	→
EXTREME EVENT FLOW	→	→



SURVEYOR

PROJECT TITLE:
DISTRICT ATTORNEY BUILDING DEMOLITION & SITE IMPROVEMENT



PROJECT SUBMISSION:
ISSUE FOR CONSTRUCTION

DATE: 2017 11 17

NO.	REVISION/ISSUE	YYYY MM DD

PROJECT NO: 17-00017-00
 DRAWN BY: Author
 SHEET TITLE:
GRADING & DRAINAGE SITE PLAN

SHEET:
C4.01



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2803 Augusta Drive, Suite 1500
Houston, TX 77057
713.244.8300
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CLIENT:



STRUCTURAL

**HENDERSON
ROGERS**
structural engineers

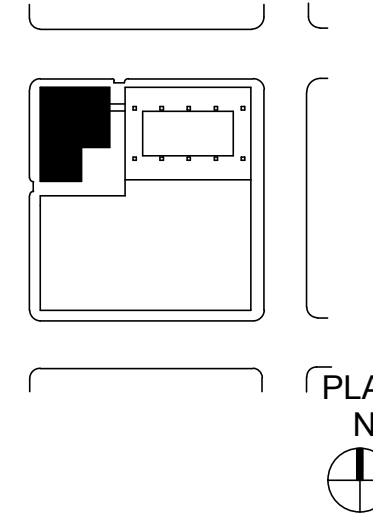
CIVIL - MEP



PROJECT TITLE:

**DISTRICT
ATTORNEY
BUILDING
DEMOLITION &
SITE
IMPROVEMENT**

PLAN KEY:



PROFESSIONAL SEAL:

Henderson Rogers
Structural Engineers, LLC
TBP Firm Registration No. 8755



PROJECT SUBMISSION:

**ISSUE FOR
CONSTRUCTION**

DATE: 2017 11 17

NO. REVISION/ISSUE YYYY MM DD

PROJECT NO. 17-00017-00

DRAWN BY CM

SHEET TITLE:

**DEMOLITION FLOOR
PLANS - BASEMENT
TO LEVEL 2**

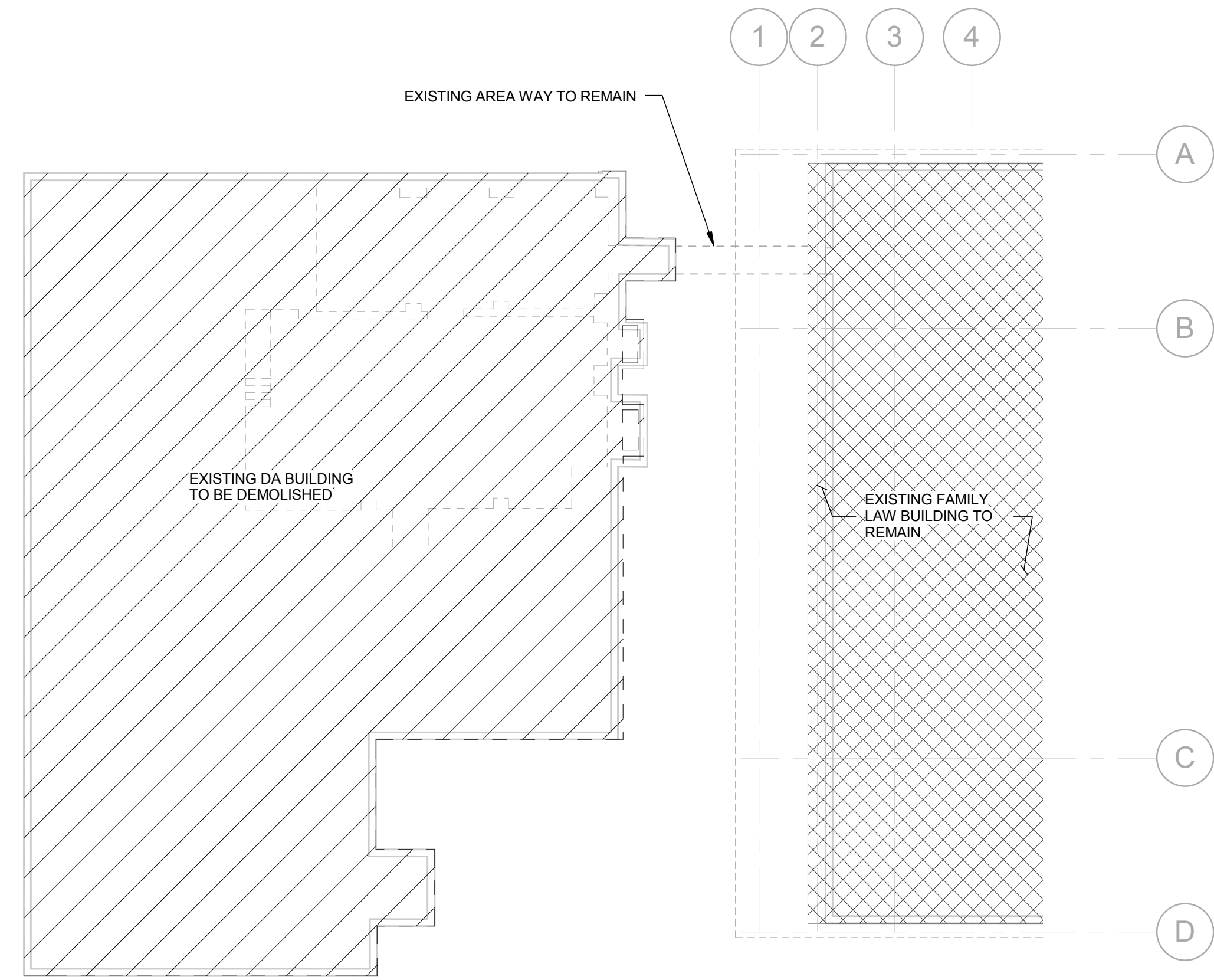
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SD1.01

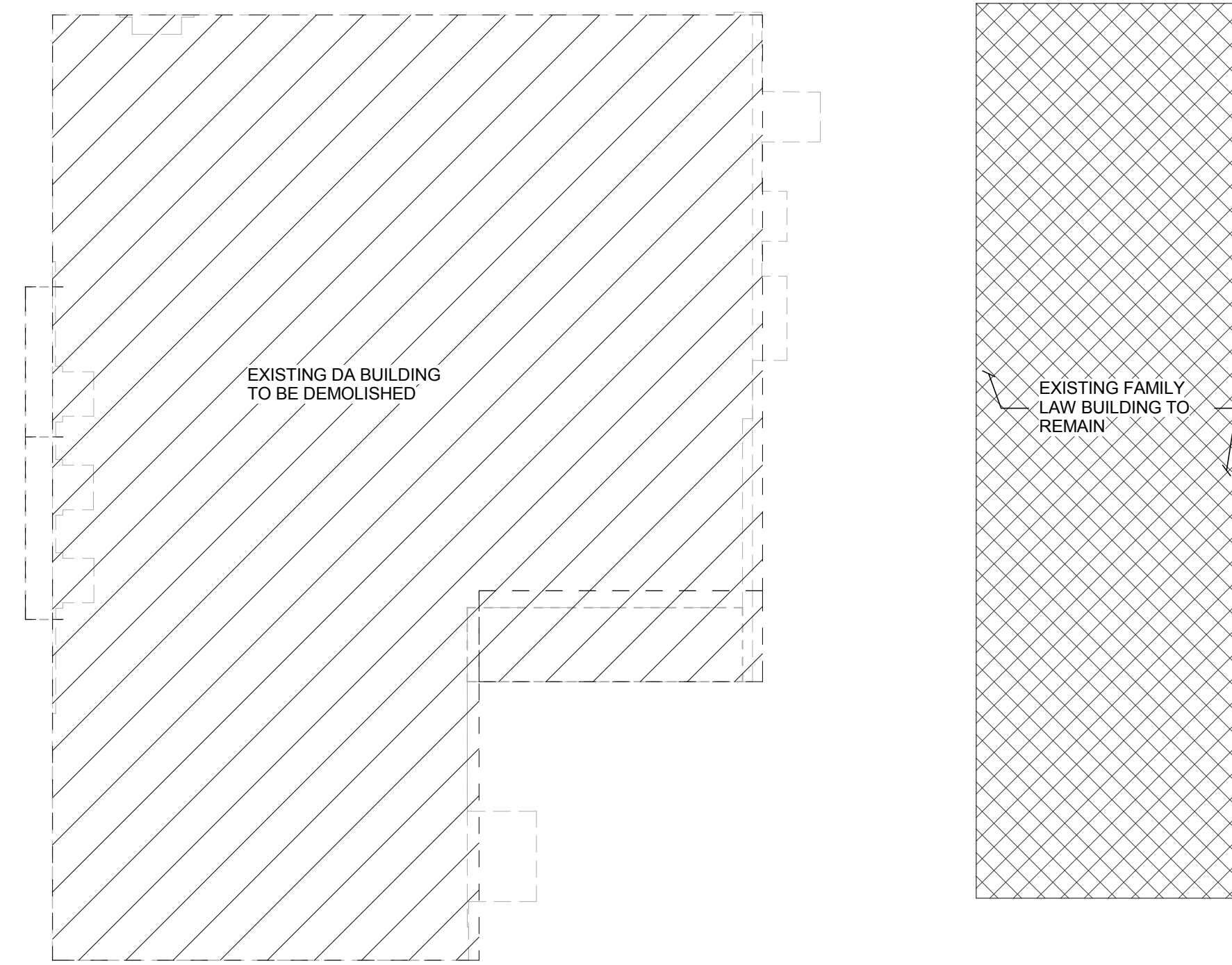
- PLAN NOTES:**
1. REFERENCE SPECIFICATIONS FOR STRUCTURAL DEMOLITION AND SELECTIVE DEMOLITION FOR ADDITIONAL INFORMATION. HATCHED AREAS ON PLAN INDICATE THE EXTENT OF BUILDING DEMOLITION. SEE LEGEND THIS SHEET.
 2. A PORTION OF PERIMETER BASEMENT WALL IS TO BE REMOVED BELOW THE PROPOSED PAVING ELEVATION. SEE BASEMENT SECTION 3503.00 AND REFERENCE THE CIVIL DRAWINGS AND PROJECT GEOTECHNICAL REPORT FOR PROPOSED PAVING ELEVATION AND REQUIRED SUBGRADE PREPARATION DEPTH. BASEMENT WALL IS TO BE BACKFILLED OR BRACED PRIOR TO REMOVAL OF THE FIRST FLOOR STRUCTURE. SEE BASEMENT SECTION 3503.00 FOR ADDITIONAL INFORMATION.

DEMOLITION LEGEND:

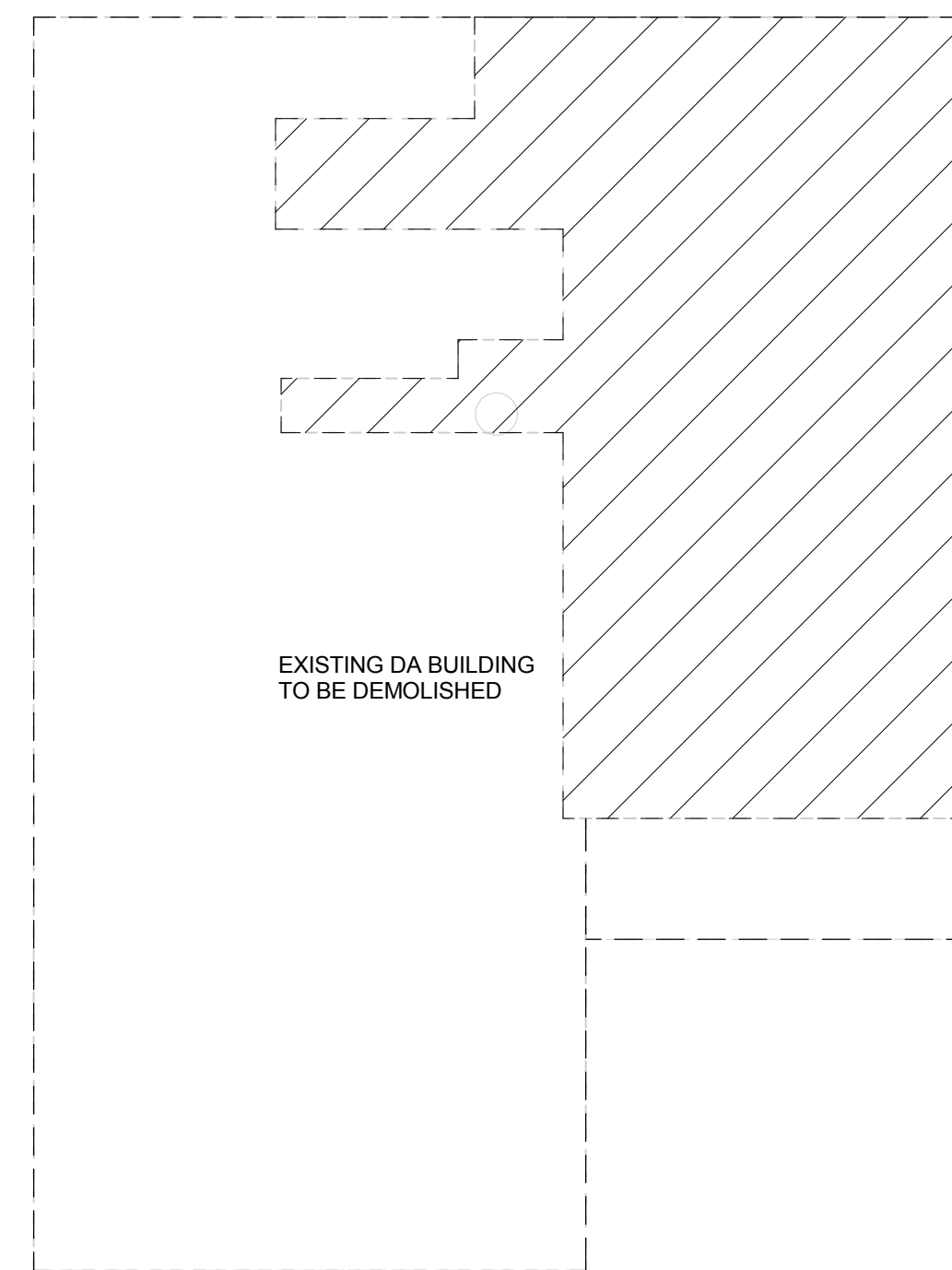
- AREA TO BE DEMOLISHED
- EXISTING AREA TO REMAIN



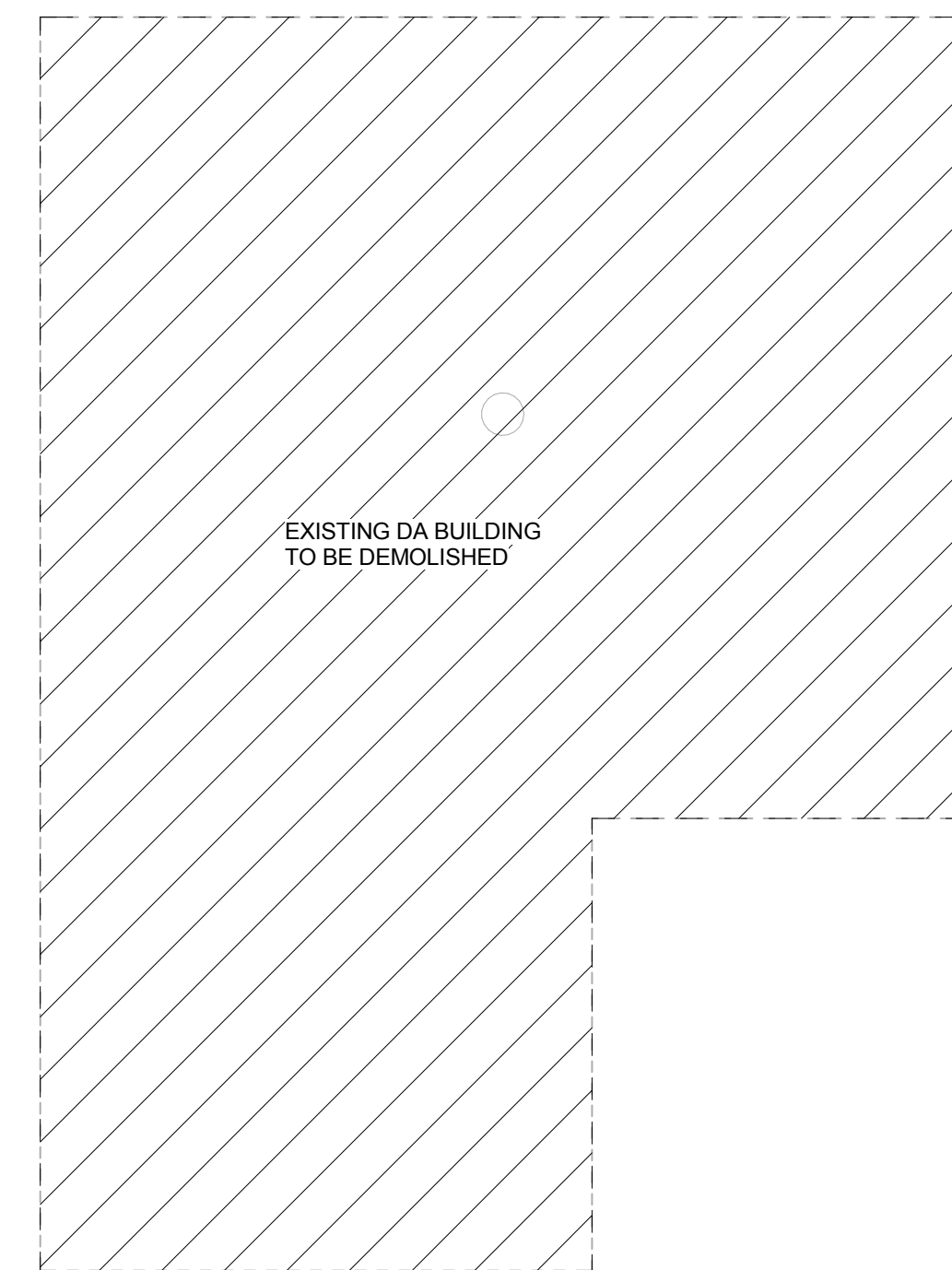
4 DEMOLITION - BASEMENT FLOOR
1/16" = 1'-0"



2 DEMOLITION - FIRST FLOOR
1/16" = 1'-0"



14 DEMOLITION - MEZZANINE FLOOR
1/16" = 1'-0"



12 DEMOLITION - SECOND FLOOR
1/16" = 1'-0"



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Houston, TX 77057
713.244.8300
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ROGERS**
structural engineers

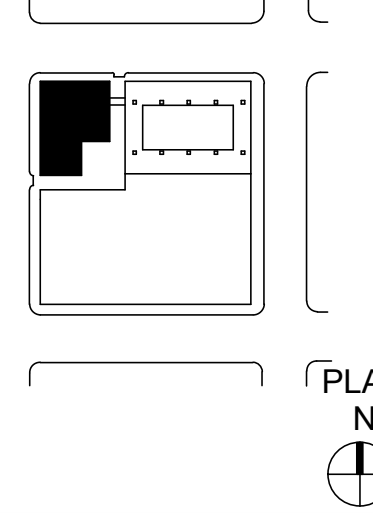
CIVIL - MEP



PROJECT TITLE:

**DISTRICT
ATTORNEY
BUILDING
DEMOLITION &
SITE
IMPROVEMENT**

PLAN KEY:



PROFESSIONAL SEAL:

Henderson Rogers
Structural Engineers, LLC
TBPB Firm Registration No. 8755



PROJECT SUBMISSION:

**ISSUE FOR
CONSTRUCTION**

DATE: 2017 11 17

NO. REVISION/ISSUE YYYY MM DD

PROJECT NO. 17-00017-00

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SHEET TITLE:

**DEMOLITION FLOOR
PLANS - LEVEL 3 TO
PENTHOUSE**

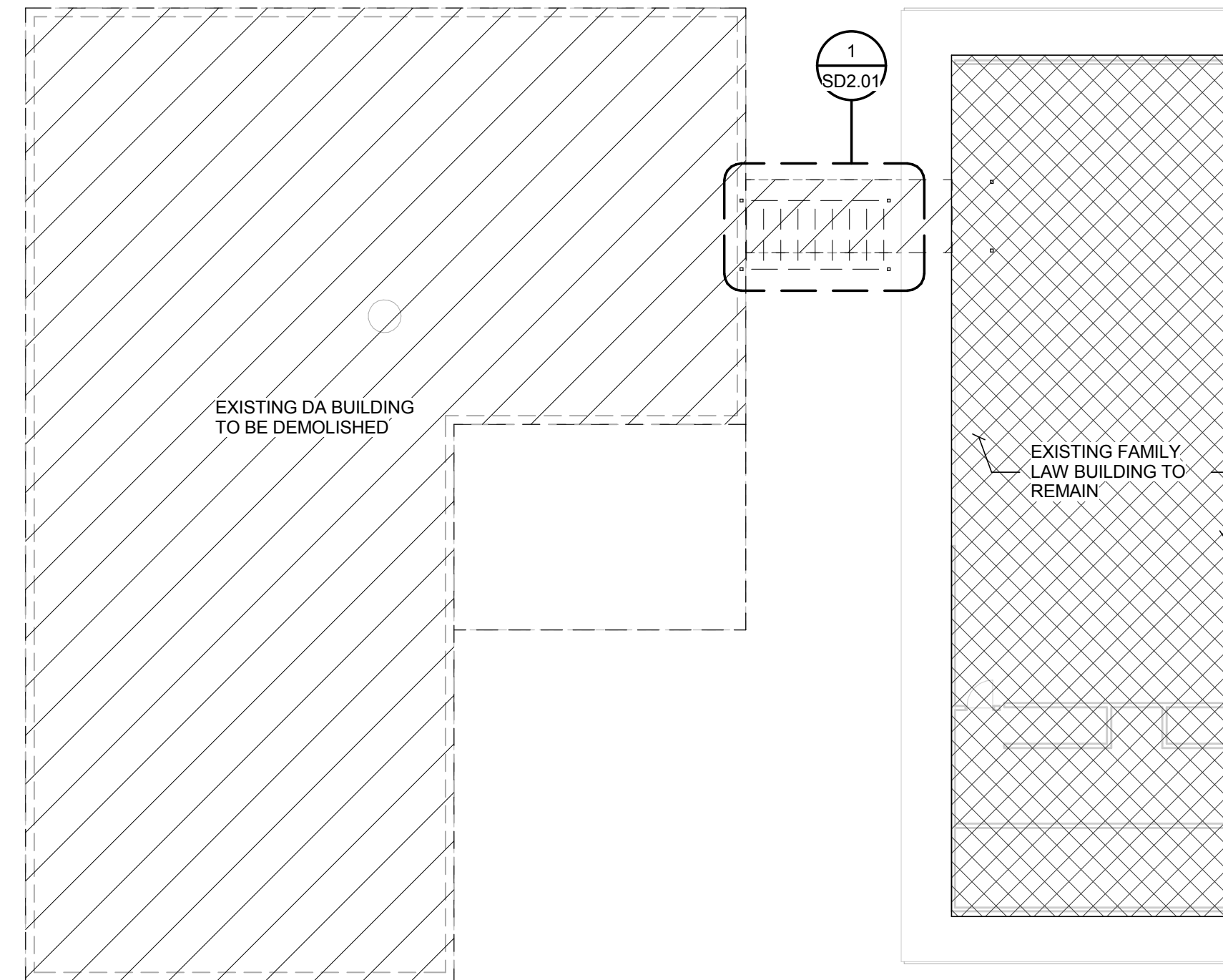
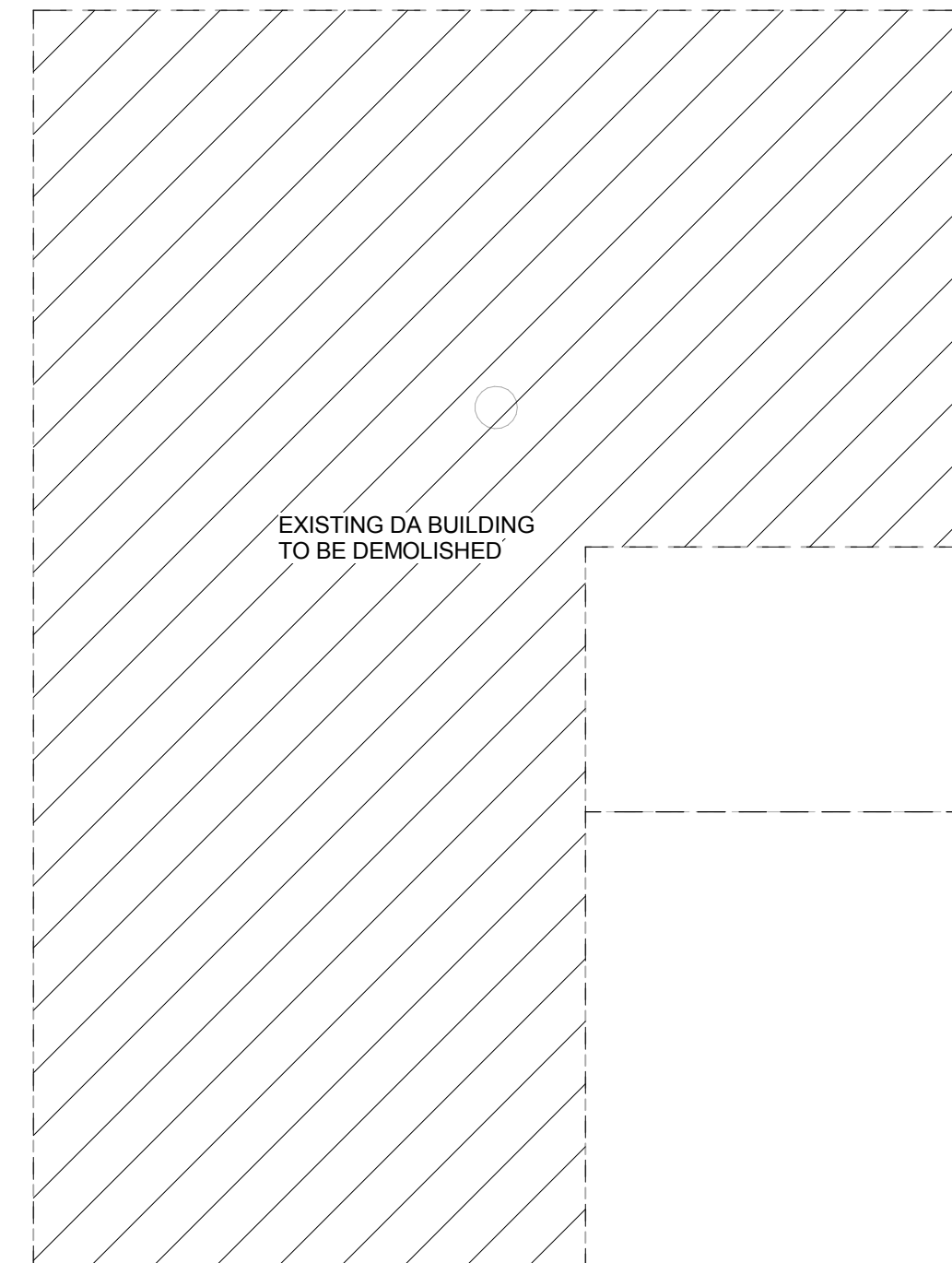
SHEET:

SD1.02

- PLAN NOTES:**
1. REFERENCE SPECIFICATIONS FOR STRUCTURAL DEMOLITION AND SELECTIVE DEMOLITION FOR ADDITIONAL INFORMATION.
 2. HATCHED AREAS ON PLAN INDICATE THE EXTENT OF BUILDING DEMOLITION. SEE LEGEND THIS SHEET.
 3. DEMOLITION OF ALL SUPPORTED FLOORS SHALL BE HAND DEMOLITION. CONTRACTOR SHALL SUBMIT STAGED DEMOLITION PLAN TO ARCHITECT/ENGINEER FOR REVIEW. DEMOLITION PLAN TO INCLUDE WHERE THE DEMOLITION IS TO BEGIN, EQUIPMENT TO BE USED AND WHERE, WEIGHT OF EQUIPMENT, PROTECTION FOR ADJACENT BUILDINGS/STRUCTURES, TRANSPORT OF DEBRIS FROM UPPER LEVELS TO BASEMENT FOR ANY DEBRIS TO BE RETAINED ON SITE, PROPOSED SEGMENT SIZE OF DEMOLISHED DEBRIS.
 4. FOR HEAVY EQUIPMENT TO BE PLACED ON EXISTING SUPPORTED FLOORS OR ATTACHED TO THE BUILDING, A SIGNED/SEALED LETTER WILL BE REQUIRED BY A THIRD PARTY ENGINEER, LICENSED IN THE STATE OF TEXAS, WHICH STATES THAT THE PROPOSED EQUIPMENT AND ITS LOAD MAY BE SAFELY SUPPORTED BY THE EXISTING FLOOR/BUILDING STRUCTURE.
 5. ADJACENT BUILDINGS, STRUCTURES, LANDSCAPING, STREETS, UTILITIES, ETC. SHALL BE PROTECTED BY THE CONTRACTOR TO PREVENT DAMAGE DURING THE DEMOLITION PROCESS. ADDITIONAL PROTECTION, PROCESSES, OR ACTIONS WILL ALSO BE INCORPORATED TO PREVENT DUST/FALLOUT FROM DEBRIS FROM IMPACTED THE SAME.

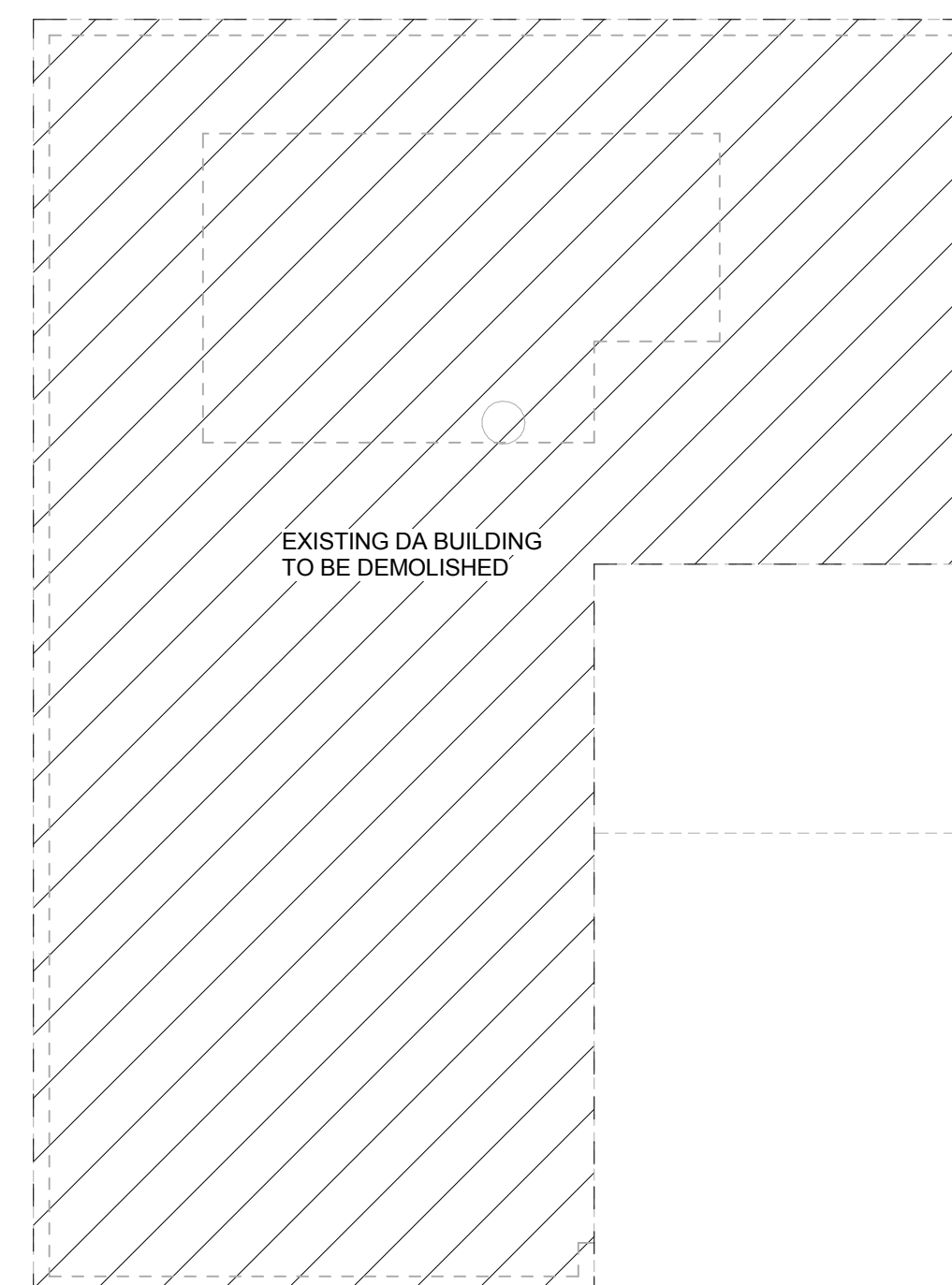
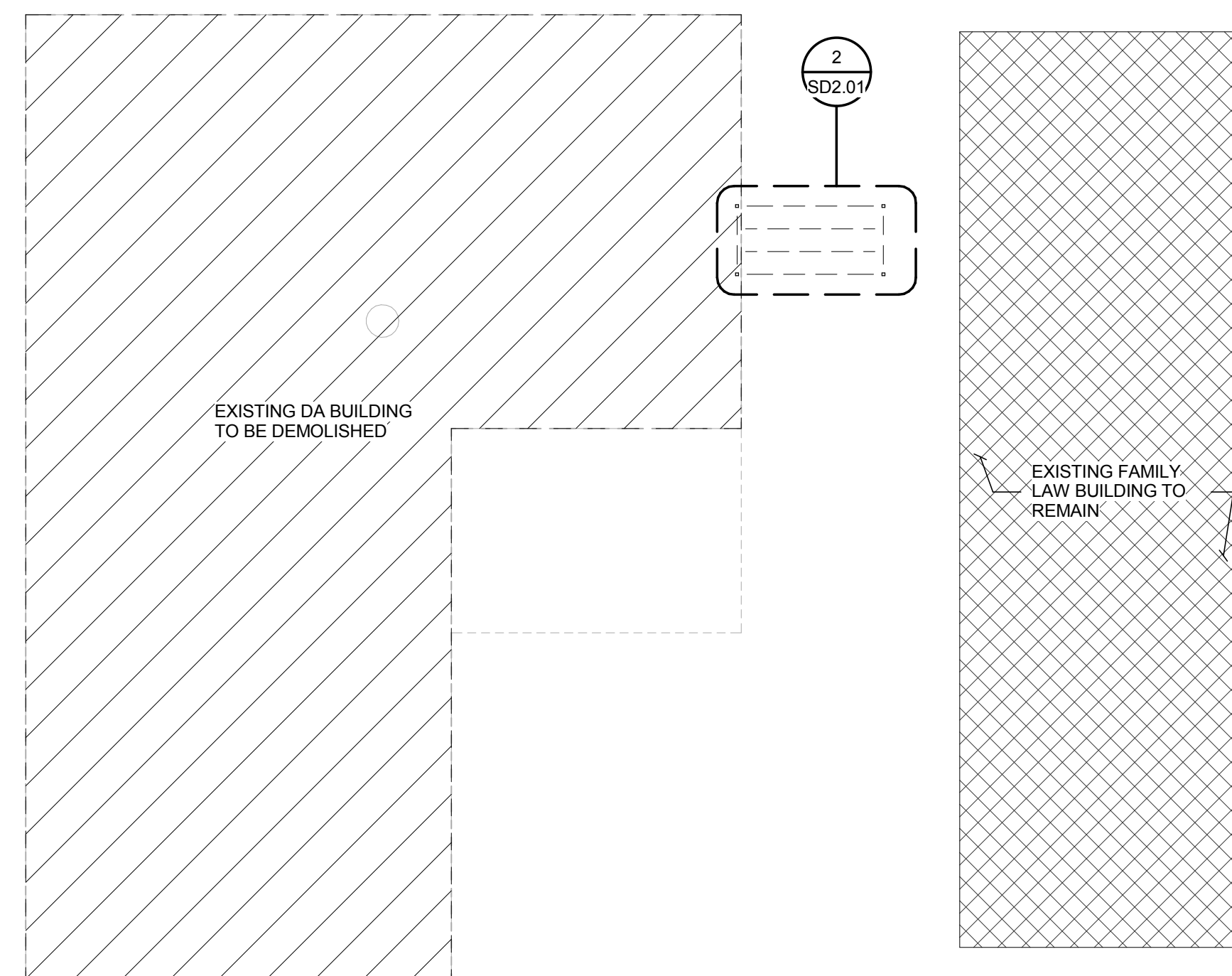
DEMOLITION LEGEND:

- AREA TO BE DEMOLISHED
- EXISTING AREA TO REMAIN



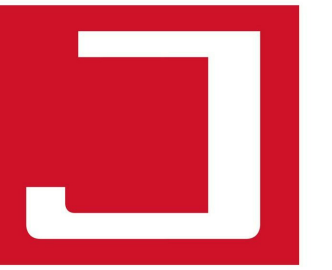
4 DEMOLITION - THIRD FLOOR
1/16" = 1'-0"

2 DEMOLITION - FOURTH FLOOR
1/16" = 1'-0"



14 DEMOLITION - FIFTH THRU TENTH FLOOR
1/16" = 1'-0"

1 DEMOLITION - PENTHOUSE & ROOF
1/16" = 1'-0"



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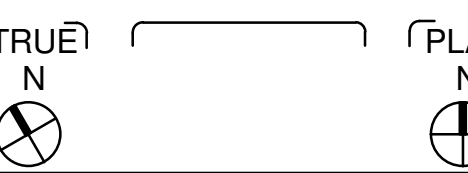
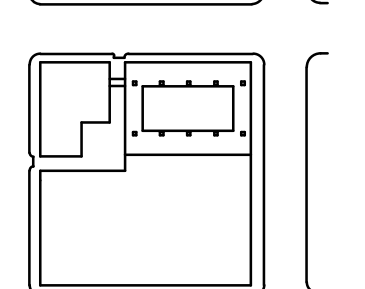
CIVIL / MEP



PROJECT TITLE:

**DISTRICT
 ATTORNEY
 BUILDING
 DEMOLITION &
 SITE
 IMPROVEMENT**

PLAN KEY:



PROFESSIONAL SEAL:



2017 11 17

PROJECT SUBMISSION:

**ISSUE FOR
 CONSTRUCTION**

DATE: 2017 11 17

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PROJECT NO. 17-00017-00

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SHEET TITLE:

**ARCHITECTURAL
 DEMOLITION SITE
 PLAN**

SHEET:

AD1.01

GENERAL NOTES - DEMOLITION

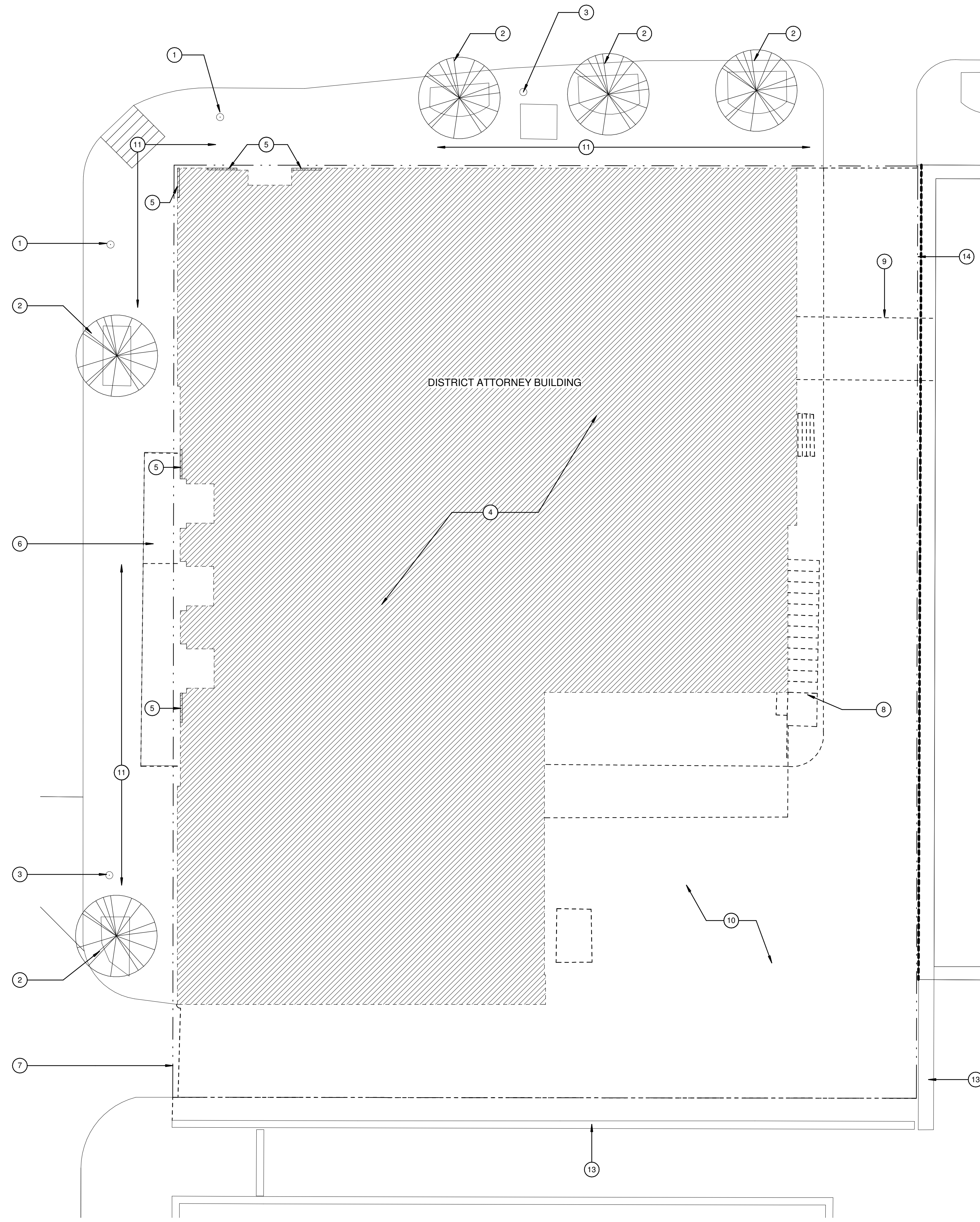
- A GENERAL CONTRACTOR SHALL REPAIR/REPLACE ANY CEILING AND FLOORING TO MATCH EXISTING THAT AFFECT FROM CONSTRUCTION OF THIS PROJECT. - EXTENT OF DEMOLITION AND REMOVAL TO BE ONLY AS NECESSARY FOR NEW CONSTRUCTION
- B ALL DASHED LINES INDICATE EXISTING CONDITIONS TO BE DEMOLISHED/REMOVED.
- C REFER TO MEP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION WORKS AND EXISTING TO REMAIN CONDITIONS.
- D EXISTING GYP. BD. AND DEBRIS ON COLUMNS TO BE REMOVED AS REQUIRED.
- E ALL REQUIRED ABATEMENT TO BE COMPLETED PRIOR TO START OF PROJECT.
- F NA
- G FLOORING- (SEE NOTES BELOW):
 - GENERAL CONTRACTOR TO FIELD VERIFY VARIOUS EXISTING FLOOR LEVELS.
 - FIELD VERIFY EXISTING MOISTURE CONTENT IN EXISTING SLAB FOR POTENTIAL CONFLICT WITH ADHERENCE OF NEW FLOOR FINISHES, PER ASTM F710.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PATCHING AND REPAIRING OF FINISH FLOOR AND WALLS AFTER THE REMOVAL OF EXISTING EQUIPMENT.
- H EXISTING CONSTRUCTION TO REMAIN SHOWN AS SOLID LINE
- I SHADED AREAS NOTE GENERAL LIMITS OF DEMOLITION. DEMOLITION SHOWN IS ONLY FOR WORK NECESSARY FOR THE SCOPE OF THE PROJECT.
- J FIELD VERIFY ALL EXISTING TO REMAIN ITEMS PRIOR TO STARTING DEMOLITION OR NEW CONSTRUCTION.
- K COORDINATE WITH OWNER ALL WORK INVOLVED ABOVE CEILING IN THE CEILING SPACE OR THE FLOOR BELOW. REMOVE AND REINSTALL EXISTING CEILING SYSTEMS WHERE POSSIBLE. WHERE IT IS NOT POSSIBLE, REPLACE CEILING TO MATCH EXISTING U.N.O.
- L NA
- M PATCH WALL AND FLOOR OPENINGS INCLUDING SHAFTS AND FLOOR DEPRESSIONS LEFT BY THE REMOVAL OF DUCTS, PIPES, EQUIPMENT AND OTHER PENETRATIONS AS TO EQUAL STRUCTURAL AND FIRE RATING OF EXISTING ADJACENT CONSTRUCTION.
- N BEFORE STARTING THE DEMOLITION WORK, CONFIRM ALL DIMENSIONS AND OTHER EXISTING CONDITIONS IN THE FIELD. REPORT ANY DISCREPANCIES TO THE ENGINEER AND ARCHITECT.
- O COORDINATE UNFORSEEN/UNKNOWN CONDITIONS DURING CONSTRUCTION W/ ARCHITECT.
- P COORDINATE W/ OWNER ITEMS SUCH AS GRAPHICS/SIGNS ETC. TO BE REMOVED. RETURN TO OWNER OR STORE AT OWNER'S DISCRETION.
- Q REMOVAL OF EXISTING PLUMBING FIXTURES TO INCLUDE CAPPING OF PIPING, WASTE LINES, ETC. SEE PLUMBING DEMOLITION FOR ADDITIONAL INFORMATION & REQUIREMENTS
- R SOLID LINES INDICATE EXISTING PARTITIONS TO REMAIN IN PLACE, PROTECT AS REQUIRED DURING CONSTRUCTION, TYP.
- S DEMO WORK AFTER HOURS - WORK MUST BE COORDINATED W/ HARRIS COUNTY PM PRIOR TO DEMO SCOPE.

KEYNOTES LEGEND

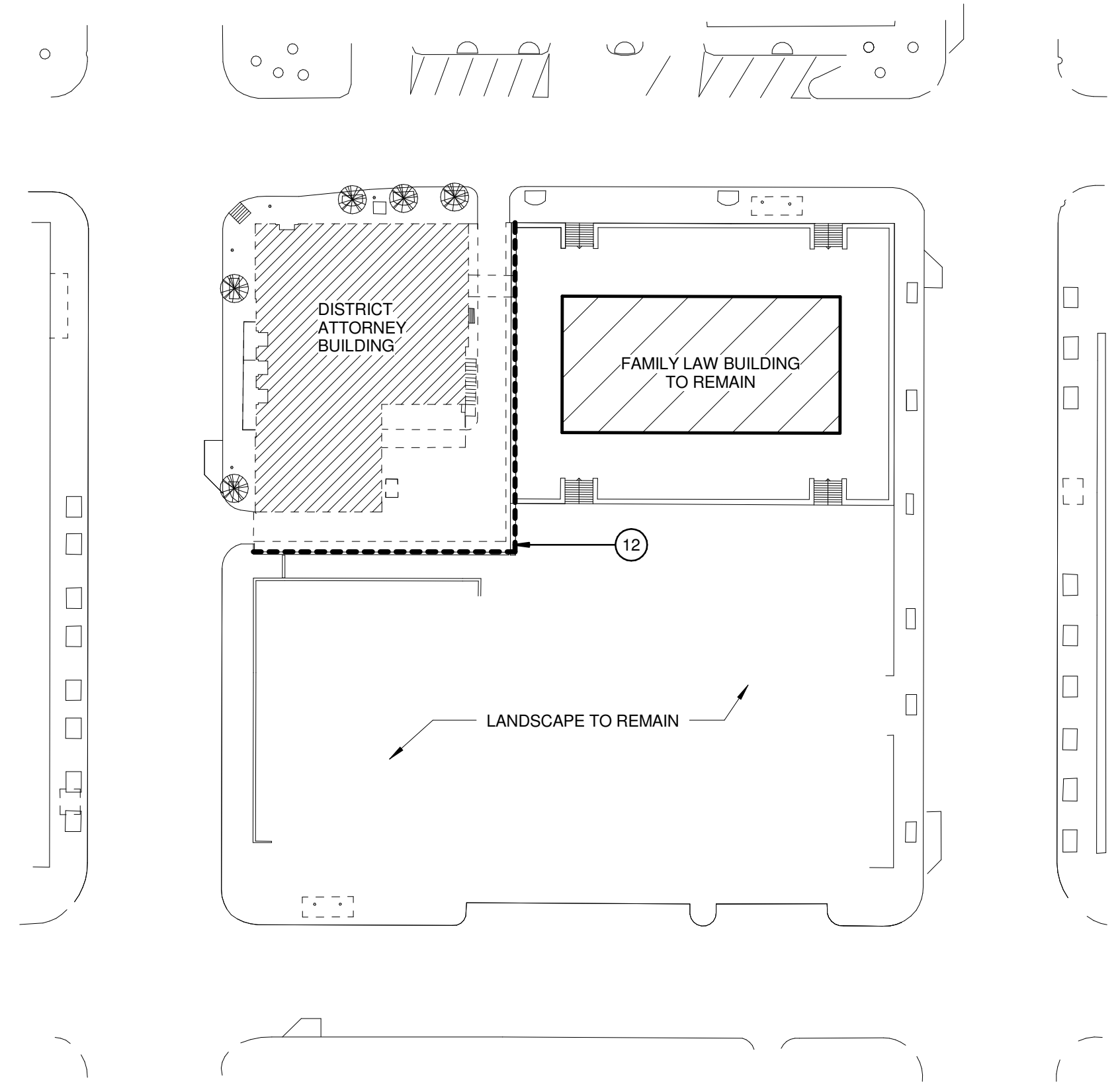
- 1 PROTECT EXISTING STREET LIGHT AND TRAFFIC LIGHTS AS REQUIRED DURING DEMOLITION.
- 2 PROTECT EXISTING TREES AS REQUIRED DURING DEMOLITION.
- 3 PROTECT EXISTING STREET LIGHT AS REQUIRED DURING DEMOLITION
- 4 REMOVE EXISTING 10 STORY BUILDING (REF: APPENDIX OF EXISTING DRAWINGS FOR FLOOR PLANS).
- 5 SALVAGE GRANITE WITH ENGRAVINGS AND DELIVER SAFELY AS DESCRIBED IN SPECIFICATION.
- 6 REMOVE EXISTING RAMP AND HANDRAIL.
- 7 REMOVE EXISTING FENCE AND GATE ALONG WITH ALL POSTS AND ASSOCIATED APPURTENANCES.
- 8 REMOVE EXISTING PLATFORM, STAIRCASE AND FENCING.
- 9 REMOVE SKY BRIDGE CONNECTOR BETWEEN D.A. BUILDING AND FAMILY LAW BUILDING AT LEVEL 4(REF: APPENDIX OF EXISTING DRAWINGS FOR DETAILS).
- 10 REMOVE EXISTING PAVING.
- 11 PROTECT EXISTING SIDEWALK AS REQUIRED DURING DEMOLITION.
- 12 PROTECTION OF ADJACENT BUILDING IS REQUIRED DURING DEMOLITION
- 13 EXISTING RETAINING WALL TO REMAIN, PROVIDE PROTECTION DURING DEMOLITION
- 14 PROTECT THE WEST FACADE OF THE BUILDING DURING DEMOLITION

DEMOLITION LEGEND

- EXISTING CONSTRUCTION PARTITION, DOOR, GLAZING AND FRAMES TO REMAIN
- EXISTING PARTITION, DOOR, GLAZING AND FRAMES TO BE REMOVED
- AREA NOT IN CONTRACT | EXISTING CONSTRUCTION TO REMAIN
- AREA TO BE DEMOLISHED

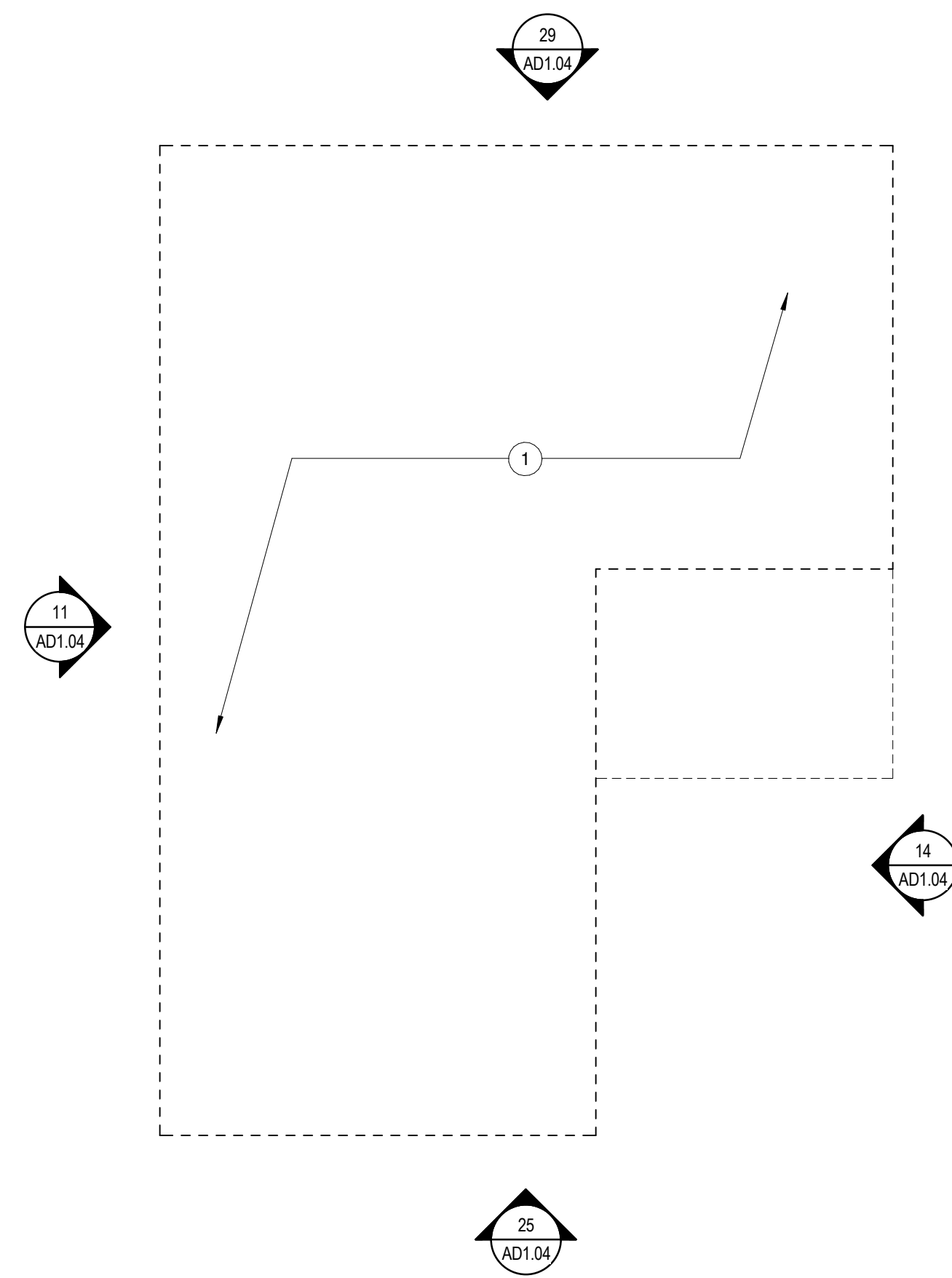


26 ARCHITECTURAL DEMOLITION SITE PLAN
 1/8" = 1'-0"

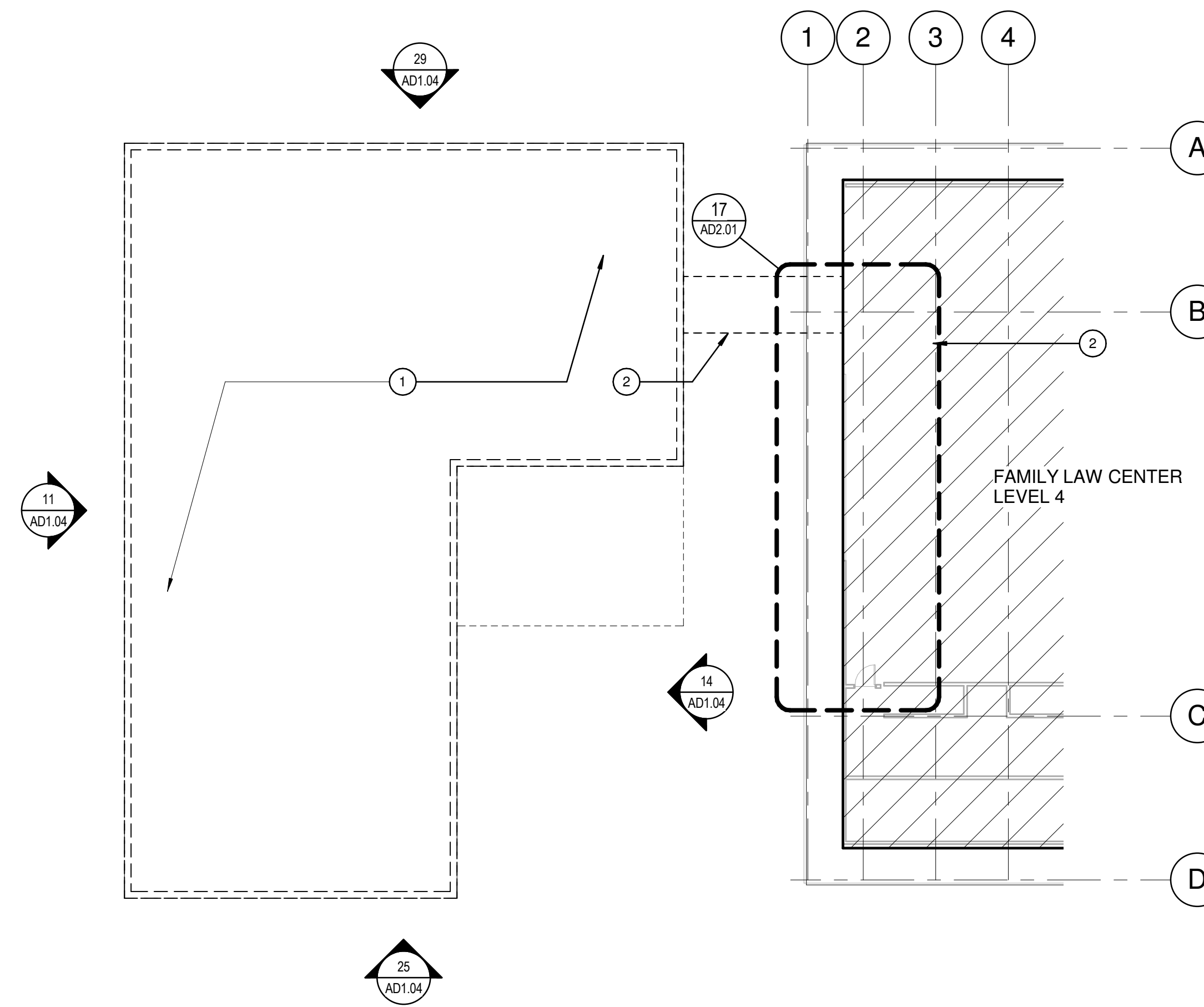


11 ARCHITECTURAL DEMOLITION SITE PLAN OVERALL
 1" = 50'-0"

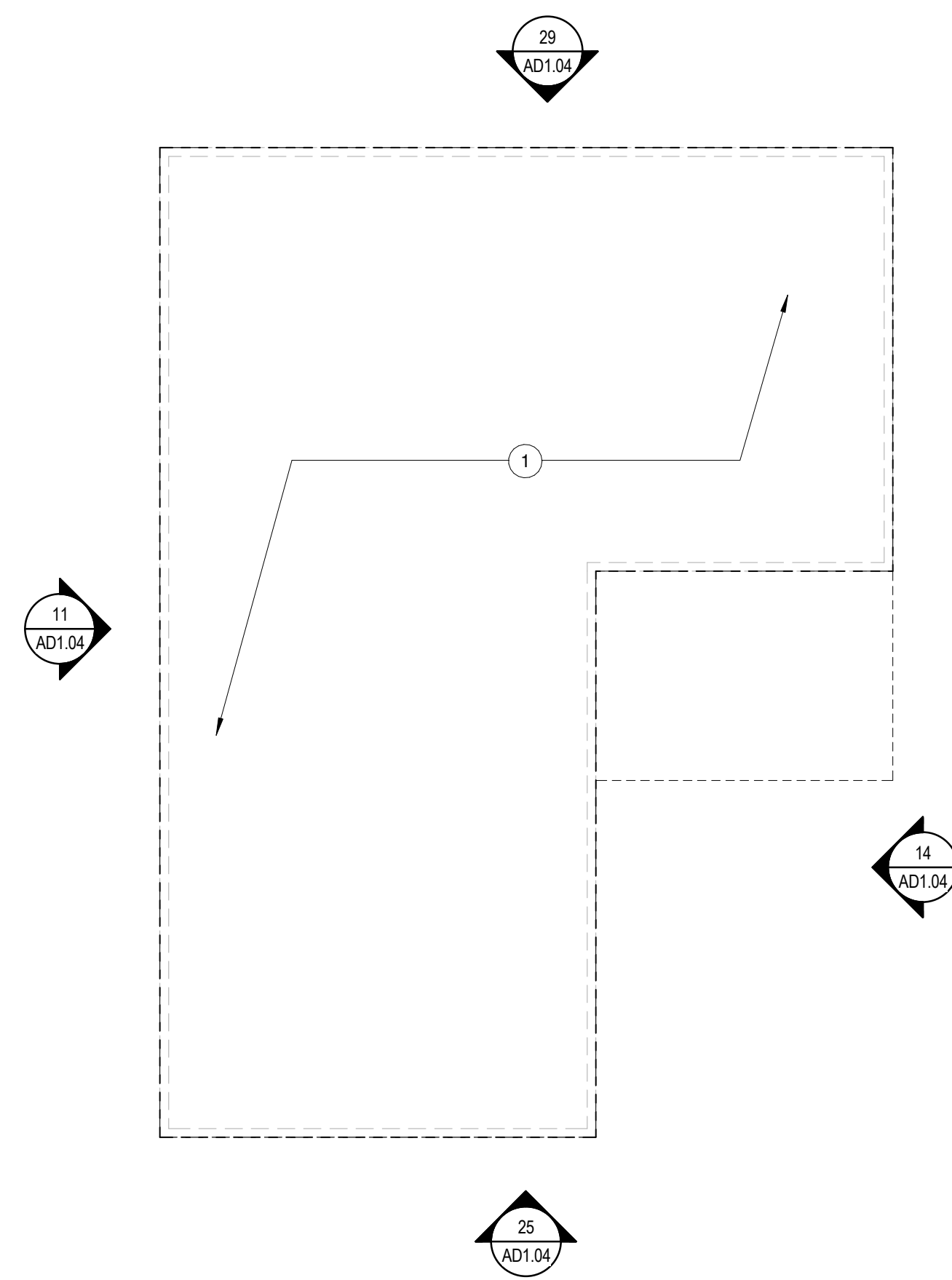
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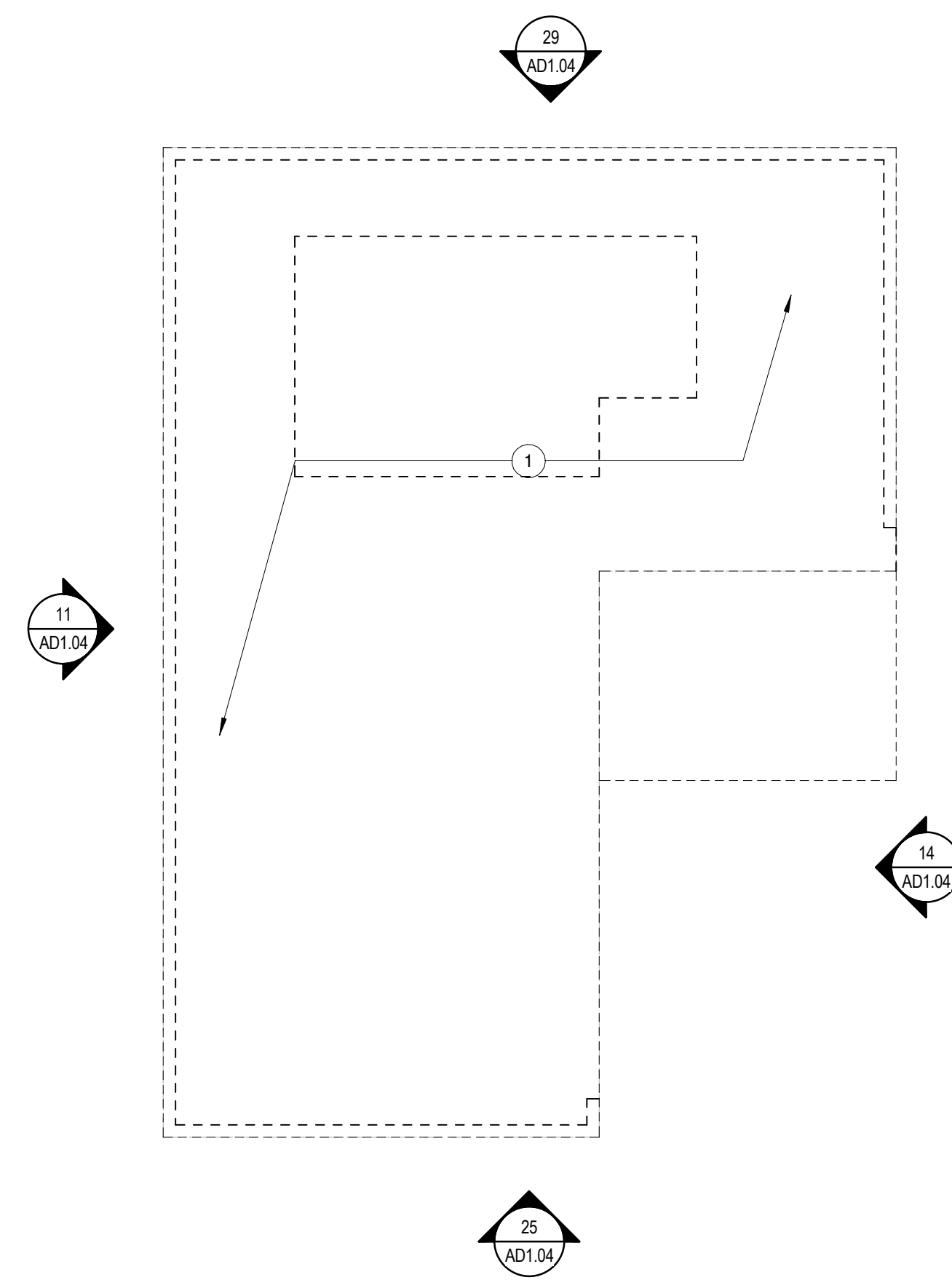
28 DEMOLITION - THIRD FLOOR
1/16" = 1'-0"



18 DEMOLITION - FOURTH FLOOR
1/16" = 1'-0"



26 DEMOLITION - FIFTH THRU TENTH FLOOR
1/16" = 1'-0"



16 DEMOLITION - PENTHOUSE & ROOF
1/16" = 1'-0"

GENERAL NOTES - DEMOLITION

- A GENERAL CONTRACTOR SHALL REPAIR/REPLACE ANY CEILING AND FLOORING TO MATCH EXISTING THAT AFFECT FROM CONSTRUCTION OF THIS PROJECT. - EXTENT OF DEMOLITION AND REMOVAL TO BE ONLY AS NECESSARY FOR NEW CONSTRUCTION.
- B ALL DASHED LINES INDICATE EXISTING CONDITIONS TO BE DEMOLISHED/REMOVED.
- C REFER TO MEP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION WORKS AND EXISTING TO REMAIN CONDITIONS.
- D EXISTING GYP. BD. AND DEBRIS ON COLUMNS TO BE REMOVED AS REQUIRED.
- E ALL REQUIRED ABATEMENT TO BE COMPLETED PRIOR TO START OF PROJECT.
- F NA
- G FLOORING- (SEE NOTES BELOW):
 - GENERAL CONTRACTOR TO FIELD VERIFY VARIOUS EXISTING FLOOR LEVELS.
 - FIELD VERIFY EXISTING MOISTURE CONTENT IN EXISTING SLAB FOR POTENTIAL CONFLICT WITH ADHERENCE OF NEW FLOOR FINISHES, PER ASTM F710.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PATCHING AND REPAIRING OF FINISH FLOOR AND WALLS AFTER THE REMOVAL OF EXISTING EQUIPMENT.
- H EXISTING CONSTRUCTION TO REMAIN SHOWN AS SOLID LINE
- I SHADED AREAS NOTE GENERAL LIMITS OF DEMOLITION. DEMOLITION SHOWN IS ONLY FOR WORK NECESSARY FOR THE SCOPE OF THE PROJECT.
- J FIELD VERIFY ALL EXISTING TO REMAIN ITEMS PRIOR TO STARTING DEMOLITION OR NEW CONSTRUCTION.
- K COORDINATE WITH OWNER ALL WORK INVOLVED ABOVE CEILING IN THE CEILING SPACE OR THE FLOOR BELOW. REMOVE AND REINSTALL EXISTING CEILING SYSTEMS WHERE POSSIBLE. WHERE IT IS NOT POSSIBLE, REPLACE CEILING TO MATCH EXISTING U.N.O.
- L NA
- M PATCH WALL AND FLOOR OPENINGS INCLUDING SHAFTS AND FLOOR DEPRESSIONS LEFT BY THE REMOVAL OF DUCTS, PIPES, EQUIPMENT AND OTHER PENETRATIONS AS TO EQUAL STRUCTURAL AND FIRE RATING OF EXISTING ADJACENT CONSTRUCTION.
- N BEFORE STARTING THE DEMOLITION WORK, CONFIRM ALL DIMENSIONS AND OTHER EXISTING CONDITIONS IN THE FIELD. REPORT ANY DISCREPANCIES TO THE ENGINEER AND ARCHITECT.
- O COORDINATE UNFORSEEN/UNKNOWN CONDITIONS DURING CONSTRUCTION W/ ARCHITECT.
- P COORDINATE W/ OWNER ITEMS SUCH AS GRAPHICS/SIGNS ETC. TO BE REMOVED. RETURN TO OWNER OR STORE AT OWNER'S DISCRETION.
- Q REMOVAL OF EXISTING PLUMBING FIXTURES TO INCLUDE CAPPING OF PIPING, WASTE LINES, ETC. SEE PLUMBING DEMOLITION FOR ADDITIONAL INFORMATION & REQUIREMENTS
- R SOLID LINES INDICATE EXISTING PARTITIONS TO REMAIN IN PLACE, PROTECT AS REQUIRED DURING CONSTRUCTION, TYP.
- S DEMO WORK AFTER HOURS - WORK MUST BE COORDINATED W/ HARRIS COUNTY PM PRIOR TO DEMO SCOPE.

KEYNOTES LEGEND

- 1 REMOVE ENTIRE FLOOR AND ALL COMPONENTS. REFER TO APPENDIX OF EXISTING DRAWINGS FOR DISTRICT ATTORNEY BUILDING FLOOR PLAN AND MORE INFORMATION
- 2 REMOVE SKY BRIDGE CONNECTOR BETWEEN D.A. BUILDING AND FAMILY LAW BUILDING AT LEVEL 4 (RE: APPENDIX OF EXISTING DRAWINGS FOR DETAILS).

DEMOLITION LEGEND

- EXISTING CONSTRUCTION PARTITION, DOOR, GLAZING AND FRAMES TO REMAIN
- EXISTING PARTITION, DOOR, GLAZING AND FRAMES TO BE REMOVED
- AREA NOT IN CONTRACT / EXISTING CONSTRUCTION TO REMAIN
- AREA TO BE DEMOLISHED



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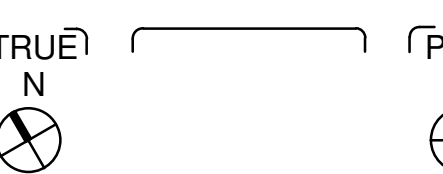
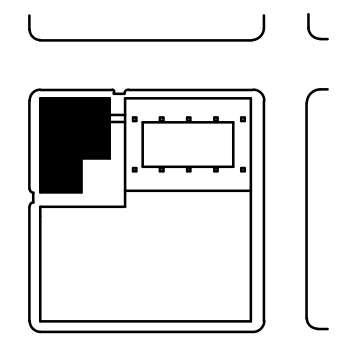
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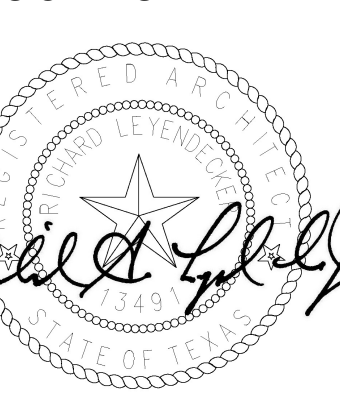
PROJECT TITLE:

DISTRICT ATTORNEY BUILDING DEMOLITION & SITE IMPROVEMENT

PLAN KEY:



PROFESSIONAL SEAL:



PROJECT SUBMISSION: ISSUE FOR CONSTRUCTION

DATE: 2017 11 17

NO. REVISION/ISSUE YYYY MM DD

PROJECT NO. 17-00017-00

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SHEET TITLE:

DEMOLITION FLOOR PLANS - LEVEL 3 TO PENTHOUSE

SHEET:

AD1.03



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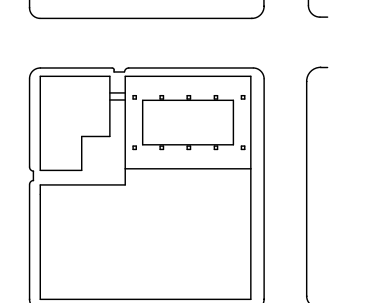


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PROJECT TITLE:

DISTRICT
ATTORNEY
BUILDING
DEMOLITION &
SITE
IMPROVEMENT

PLAN KEY:



TRUE N



PROFESSIONAL SEAL:



PROJECT SUBMISSION:

ISSUE FOR
CONSTRUCTION

DATE: 2017 11 17

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PROJECT NO. 17-00017-00

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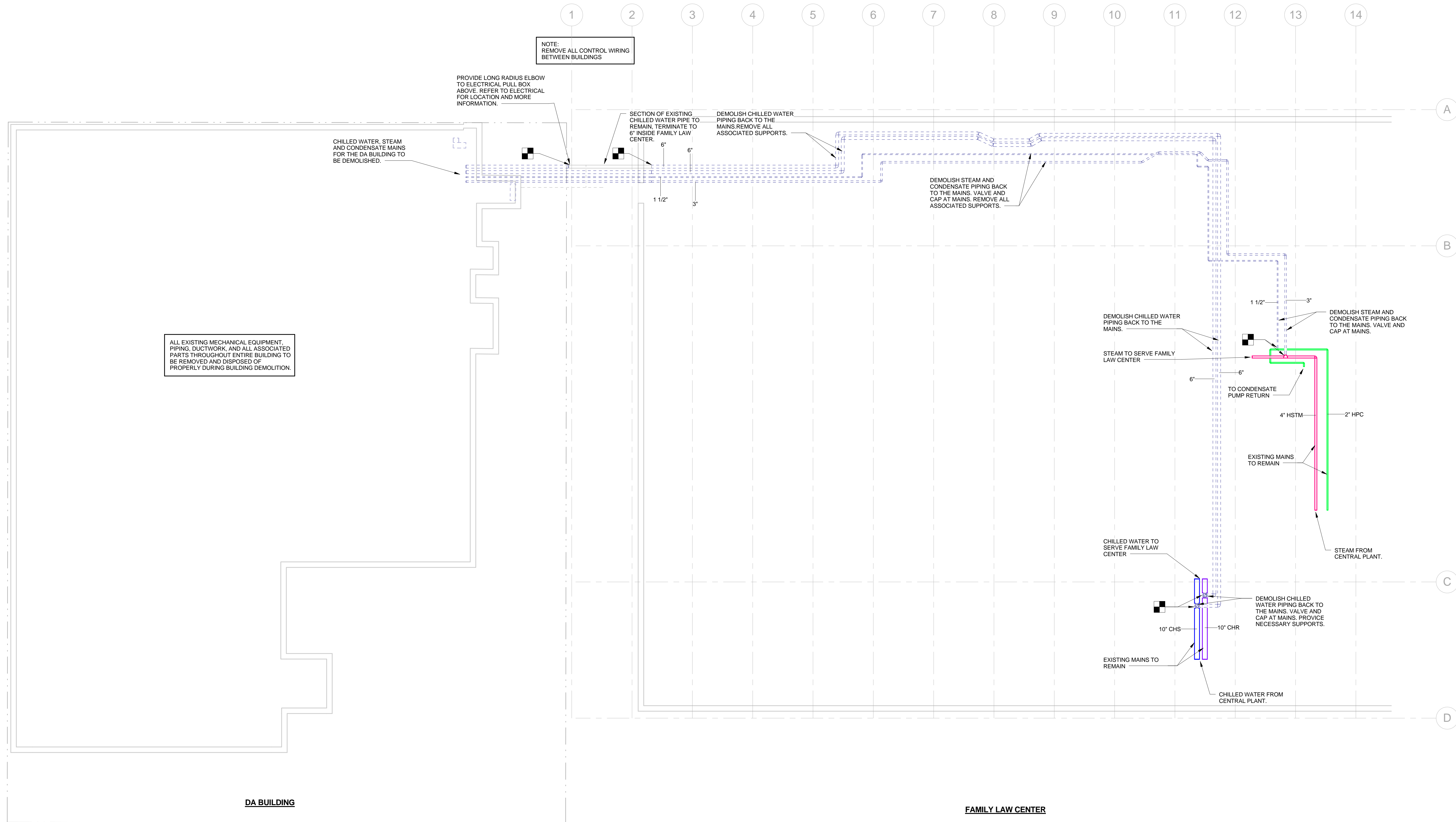
SHEET TITLE:

MECHANICAL
DEMOLITION FLOOR
PLAN BASEMENT

SHEET:

MD1.00

DEMOLITION LEGEND	
SYMBOL	DESCRIPTION
—	EXISTING TO REMAIN
- - - -	EXISTING TO BE REMOVED
■	DEMO TO THIS POINT



ALL EXISTING MECHANICAL EQUIPMENT, PIPING, DUCTWORK, AND ALL ASSOCIATED PARTS THROUGHOUT ENTIRE BUILDING TO BE REMOVED AND DISPOSED OF PROPERLY DURING BUILDING DEMOLITION.

DA BUILDING

FAMILY LAW CENTER

MECHANICAL DEMOLITION FLOOR PLAN
BASEMENT
1/8" = 1'-0"

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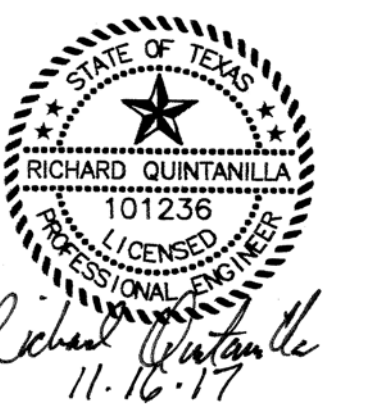


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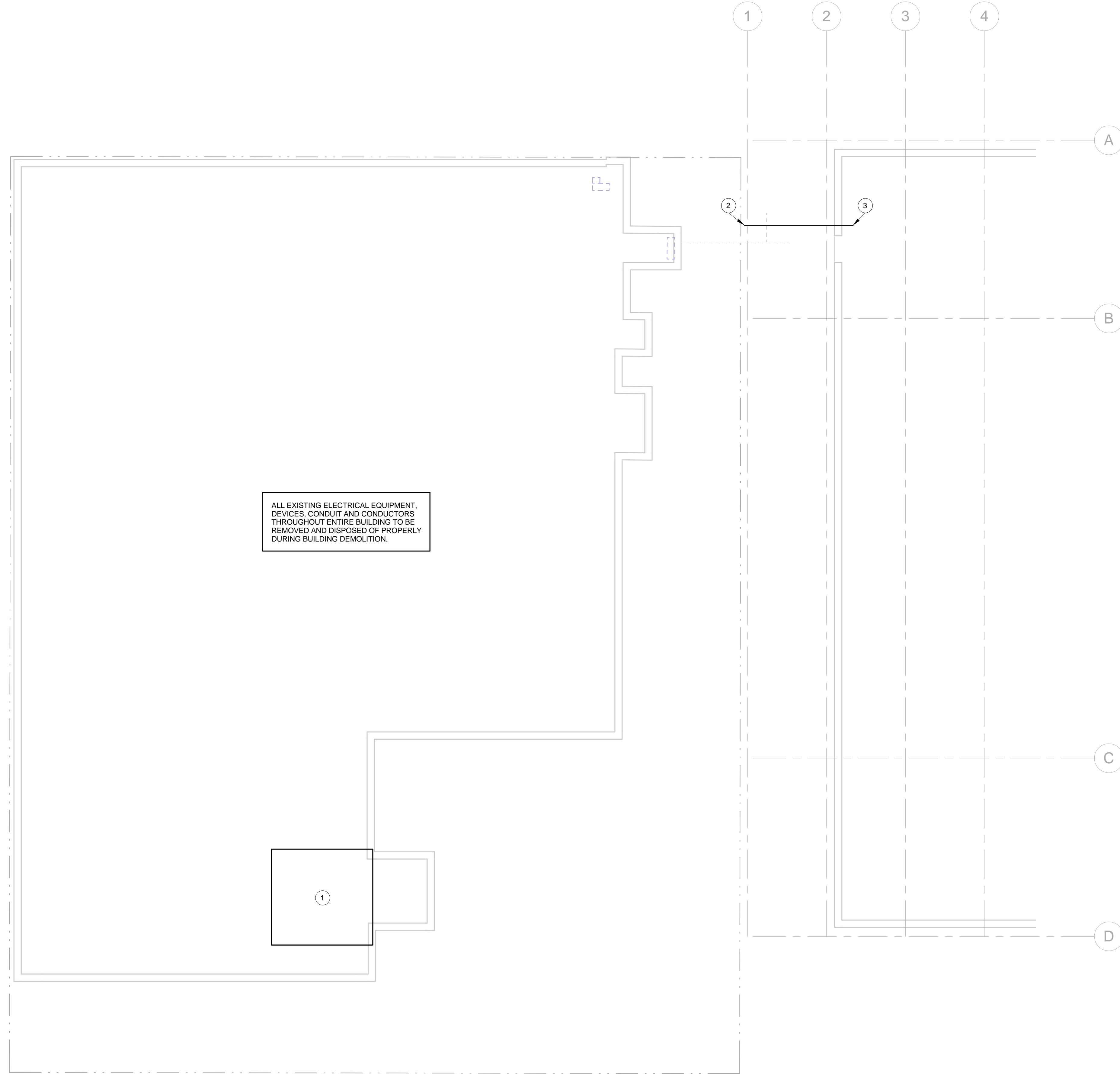
SHEET TITLE:

**ELECTRICAL
DEMOLITION FLOOR
PLAN BASEMENT**

SHEET:

ED1.00

- KEYNOTES LEGEND
- 1 DISCONNECT AND REMOVE ALL ELECTRICAL CONNECTIONS ASSOCIATED WITH UTILITY VAULT. CENTERPOINT ENERGY WILL REMOVE ALL CNP EQUIPMENT INSIDE THE VAULT. CONTRACTOR TO COORDINATE SCHEDULE OF REMOVAL WITH CENTERPOINT ENERGY PRIOR TO DEMOLITION.
 - 2 THIS PORTION OF EXISTING 6" CHILLED WATER PIPE TO BE REUSED AS A SLEEVE FOR LOW VOLTAGE PATHWAY INTO FAMILY LAW BUILDING. NEW PIPE SHALL BE ADDED TO TURN VERTICAL AND INTO NEW ELECTRICAL PULL BOX AS SHOWN IN THE PARKING LOT PLAN. COORDINATE LOCATION WITH MECHANICAL DEMO PLAN.
 - 3 CUT EXISTING PIPE 6"-12" INSIDE THIS ROOM. MAKE ALL ROUGH EDGES AS SMOOTH AS POSSIBLE FOR CABLE PULLING.



ELECTRICAL DEMOLITION FLOOR PLAN
BASEMENT
1/8" = 1'-0"



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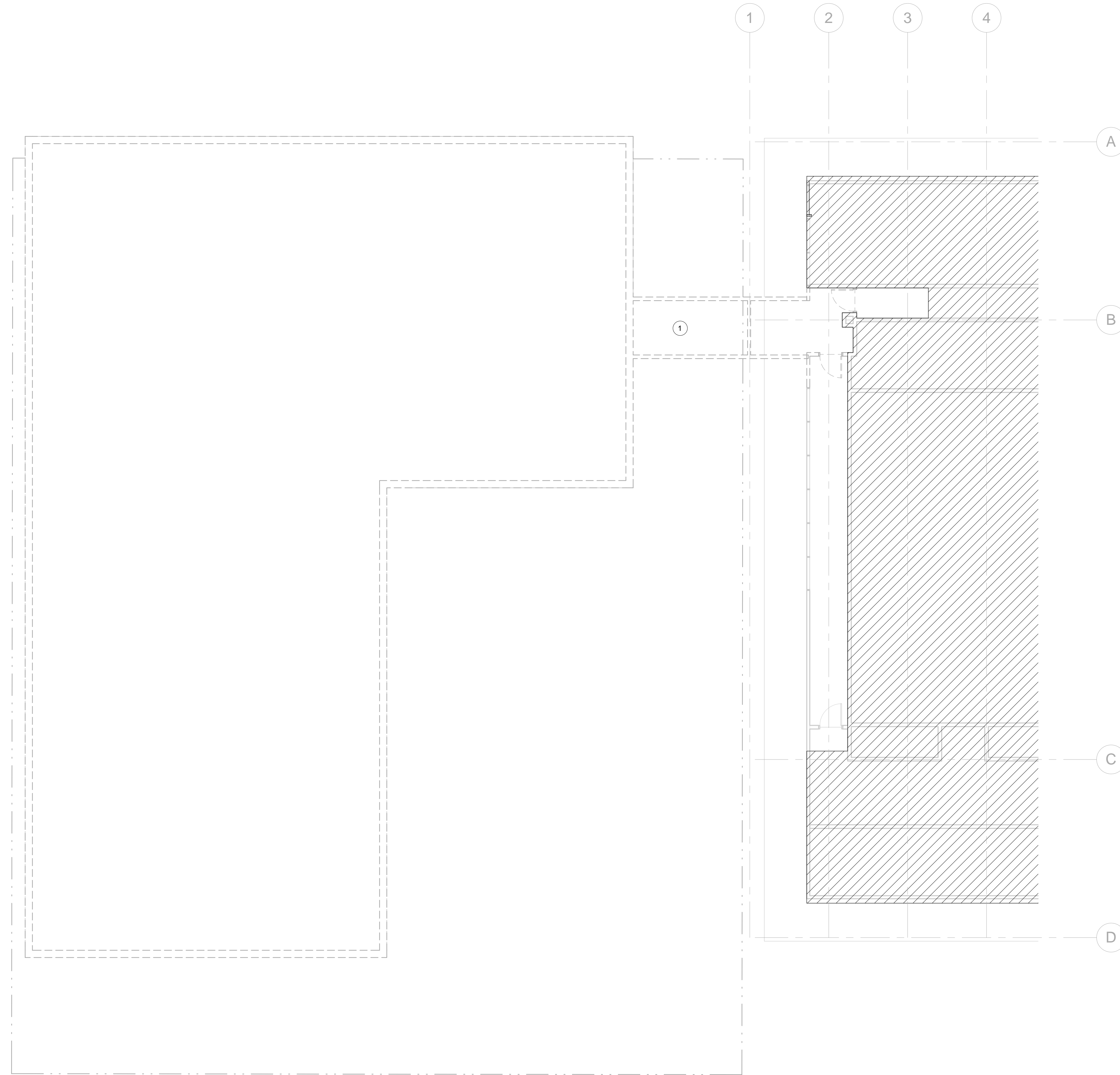
SHEET TITLE:

**ELECTRICAL
DEMOLITION FLOOR
PLAN FOURTH
FLOOR**

SHEET:

ED4.00

KEYNOTES LEGEND
1 ENTIRE FOURTH FLOOR CONNECTOR TO BE DEMOLISHED. ALL LIGHTS, ELECTRICAL DEVICES, CONDUIT AND WIRING TO BE REMOVED. CONTRACTOR TO FIELD VERIFY NO ELECTRICAL CIRCUIT REMOVED WILL IMPACT FAMILY LAW BUILDING.



ELECTRICAL DEMOLITION FLOOR PLAN
FOURTH
1/8" = 1'-0"

